

MEETING AGENDA

Valparaiso Board of Zoning Appeals
Wednesday, September 21, 2022, 5:30 PM
Valparaiso City Hall – Council Chambers

1. Pledge of Allegiance
2. Roll Call
3. Adoption of Meeting Minutes – August 17, 2022
4. Old Business
5. New Business

VAR22-013 – A petition filed by PK Industrial, LLC c/o Chester, Inc. to request a Development Standards Variance from Table 3.505 (Nonresidential Bulk Requirements) to reduce the rear yard setback from 30ft to 20ft at 3505 Redbow Drive (Heavy Industrial, INH)

6. Other Business
7. Staff Items
8. Adjournment

Michael Micka, *President – Board of Zoning Appeals*
Beth Shrader, *Planning Director*
Next Meeting: **October 19, 2022**

*Interested persons can view the public hearing Live on the City of Valparaiso Website, www.valpo.us
or via web conference at bit.ly/ValpoBZA2022*

****Requests for alternate formats please contact staff at planningdepartment@valpo.us or (219) 462-1161. ****

PETITION TO VALPARAISO BOARD OF ZONING APPEALS:

This application is being submitted for (Check all that apply):

- ☐ Use Variance
☒ Development Standards Variance
☐ Special Exception/Special Use
☐ Relief to Administrative Decision
☐ Conditional Use
☐ Wireless Communications Facility

*For Office Use Only:***Petition #:** _____

Application Type: _____

Application Filing Fee: _____

Date Filed: ____/____/____

Meeting: ____/____/____

SUBJECT PROPERTY INFORMATION**TYPE OR PRINT IN INK**

Property Address:

3505 Redbow Drive
Valparaiso, IN 46383Subject property fronts on the Redbow Driveside between (streets) Eastport Centre Drive& Transport DriveZoning District: INH Heavy Industrial**PETITIONER INFORMATION**

Applicant Name:

Steve DeBold - Chester, Inc.

Phone:

219-465-7555

Email:

sdebold@chesterinc.com

Address:

555 Eastport Centre Drive
Valparaiso, IN 46383**PROPERTY OWNER INFORMATION**

Applicant Name:

Adam Peuquet - PK Industrial

Phone:

219-465-7555

Email:

apeuquet@chesterinc.com

Address:

PK Industrial, LLC.
555 Eastport Centre Drive
Valparaiso, IN 46383**SECTIONS OF UDO FROM WHICH A VARIANCE, SPECIAL EXCEPTION OR ADMIN RELIEF IS SOUGHT:**Article: 3 Section: 3.505 Paragraph: ____ Item: ____

Article: ____ Section: ____ Paragraph: ____ Item: ____

Article: ____ Section: ____ Paragraph: ____ Item: ____

Article: ____ Section: ____ Paragraph: ____ Item: ____

Article: ____ Section: ____ Paragraph: ____ Item: ____

Article: ____ Section: ____ Paragraph: ____ Item: ____

Article: ____ Section: ____ Paragraph: ____ Item: ____

Article: ____ Section: ____ Paragraph: ____ Item: ____

ExH.3

Sections of UDO from which a Variance, special Exception, or Admin Relief is sought:

1. Article 3 District Intensity and Bulk Standards, Section 3.505 Nonresidential Uses, Table 3.505 Nonresidential Bulk Requirements, Rear Yard
 - Heavy Industrial (INH) 30-ft Rear Yard to 20-ft Rear Yard



Variance from Development Standards
Petitioner's Proposed Findings of Fact
(Please use fillable pdf, print neatly, or attach printed document.)

Petitioner submits that:

- A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because:

It is unlikely that granting a rear yard setback reduction from 30 feet down to 20 feet will be injurious to the public health, safety, morals, and general welfare of the community. The proposed building is not being placed parallel to the adjacent property line so it is only the northwest corner of the building that is in question. The northwest corner of the proposed building will be placed 22.22 feet from the adjacent property line and the southwest corner of the building will be 49.56 feet from the property line. Therefore, the proposed condition should not have any negative impacts to the community.

- B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because:

It is unlikely the use and value of the adjacent property will be affected in a substantially adverse manner as the proposed use is abutting other business uses also zoned INH Heavy Industrial. The adjacent properties to the Real Estate are also not abutting and residential districts.

- C. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property included in the proposed variance because:

Strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property as the west end of this property is irregularly shaped thus making it difficult to utilize the property completely. The rear setback line that was established when the first building on the parcel was permitted is essentially serving as a side yard for this building and the proposal of a 20-ft setback exceeds the minimum side yard setback for INH. In addition, the ability to shift the building to the east is not possible as there is a commonly shared drainage swale that is needed to convey stormwater between the two buildings.

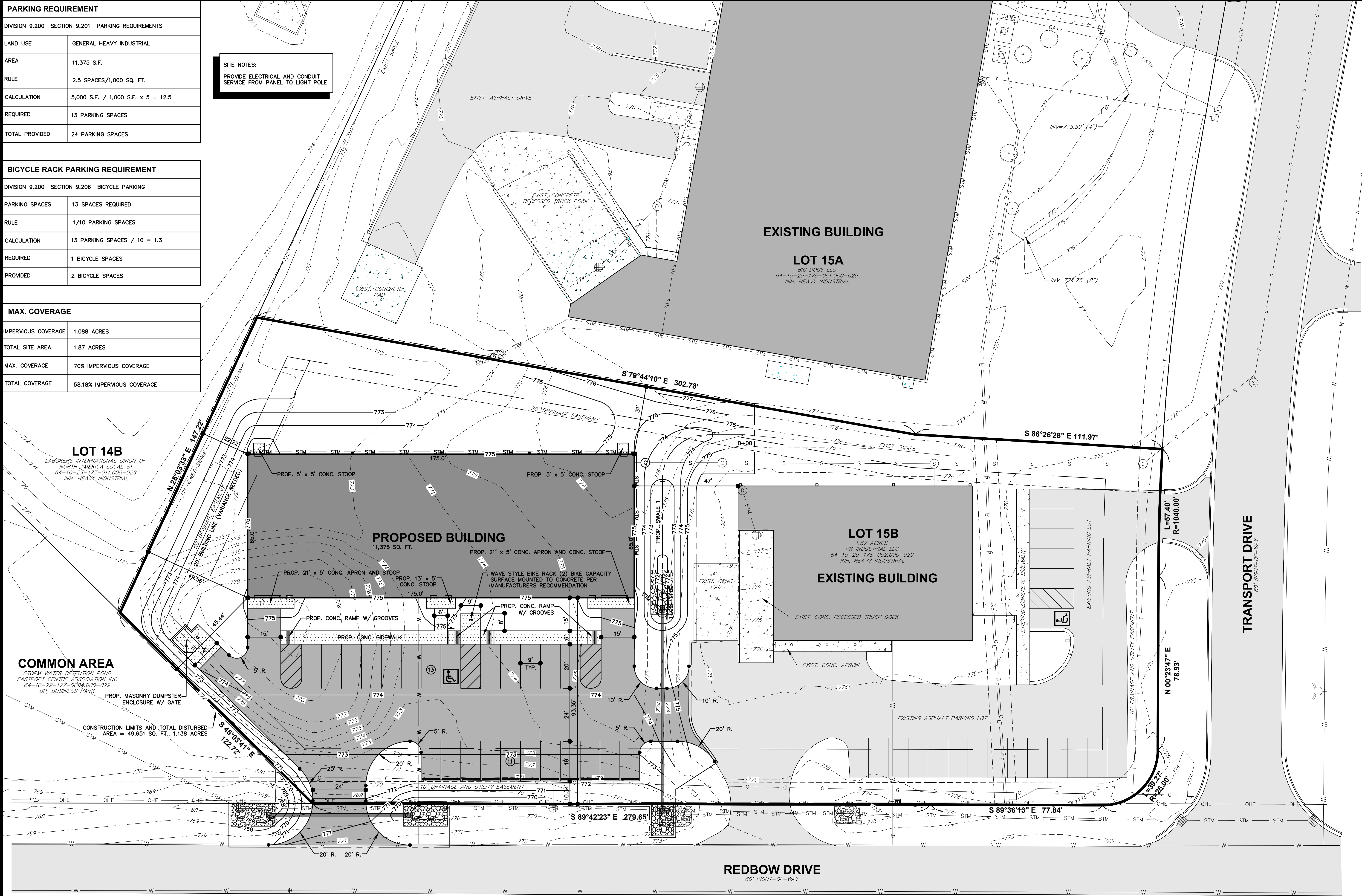
The petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

PARKING REQUIREMENT	
DIVISION 9.200 SECTION 9.201 PARKING REQUIREMENTS	
LAND USE	GENERAL HEAVY INDUSTRIAL
AREA	11,375 S.F.
RULE	2.5 SPACES/1,000 SQ. FT.
CALCULATION	5,000 S.F. / 1,000 S.F. x 5 = 12.5
REQUIRED	13 PARKING SPACES
TOTAL PROVIDED	24 PARKING SPACES

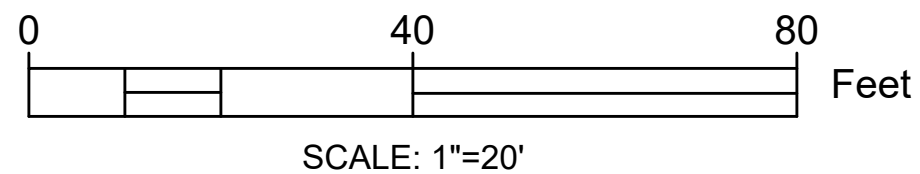
BICYCLE RACK PARKING REQUIREMENT	
DIVISION 9.200 SECTION 9.206 BICYCLE PARKING	
PARKING SPACES	13 SPACES REQUIRED
RULE	1/10 PARKING SPACES
CALCULATION	13 PARKING SPACES / 10 = 1.3
REQUIRED	1 BICYCLE SPACES
PROVIDED	2 BICYCLE SPACES

MAX. COVERAGE	
IMPERVIOUS COVERAGE	1.088 ACRES
TOTAL SITE AREA	1.87 ACRES
MAX. COVERAGE	70% IMPERVIOUS COVERAGE
TOTAL COVERAGE	58.18% IMPERVIOUS COVERAGE

SITE NOTES:
PROVIDE ELECTRICAL AND CONDUIT SERVICE FROM PANEL TO LIGHT POLE



DEVELOPED PROJECT SITE LAYOUT PLAN



SUBMITTALS / REVISIONS	
08/10/22 SITE REVIEW	7
	8
	9
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15B DEVELOPMENT

Chester Inc.
Architectural Services
Peter D. Brennan • Joseph M. DeConzo
555 E. Superior Street, Suite 100, Valparaiso, IN 46383
Phone: (219) 465-5555

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JOB NUMBER: AR22-27

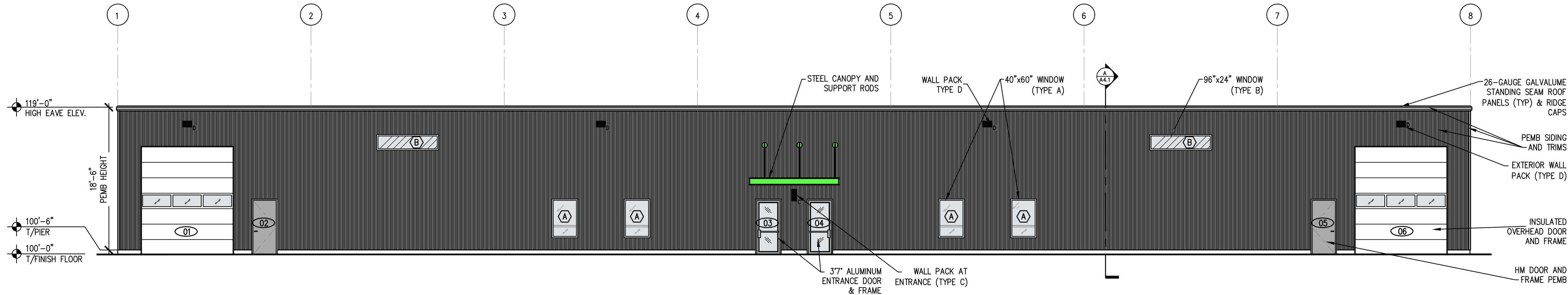
DEVELOPED PROJECT
SITE LAYOUT PLAN

DRAWING NUMBER

C2

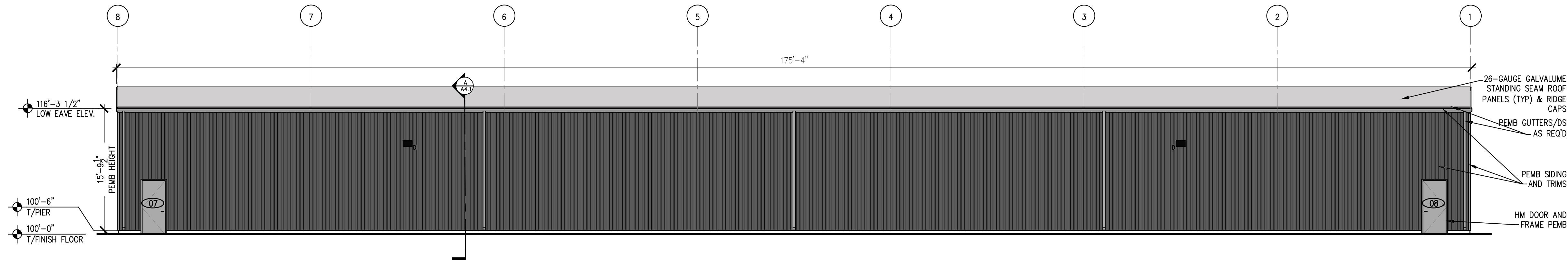
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3505 REDBOW DRIVE
VALPARAISO, IN 46383



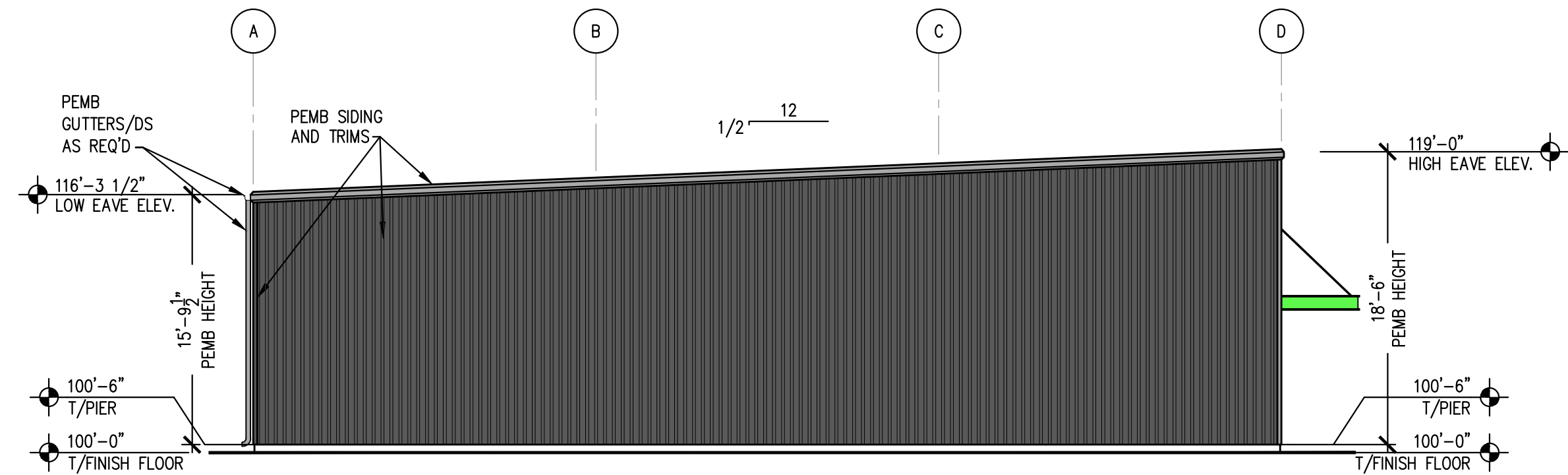
SOUTH BUILDING ELEVATION

SCALE 1/8"=1'-0"



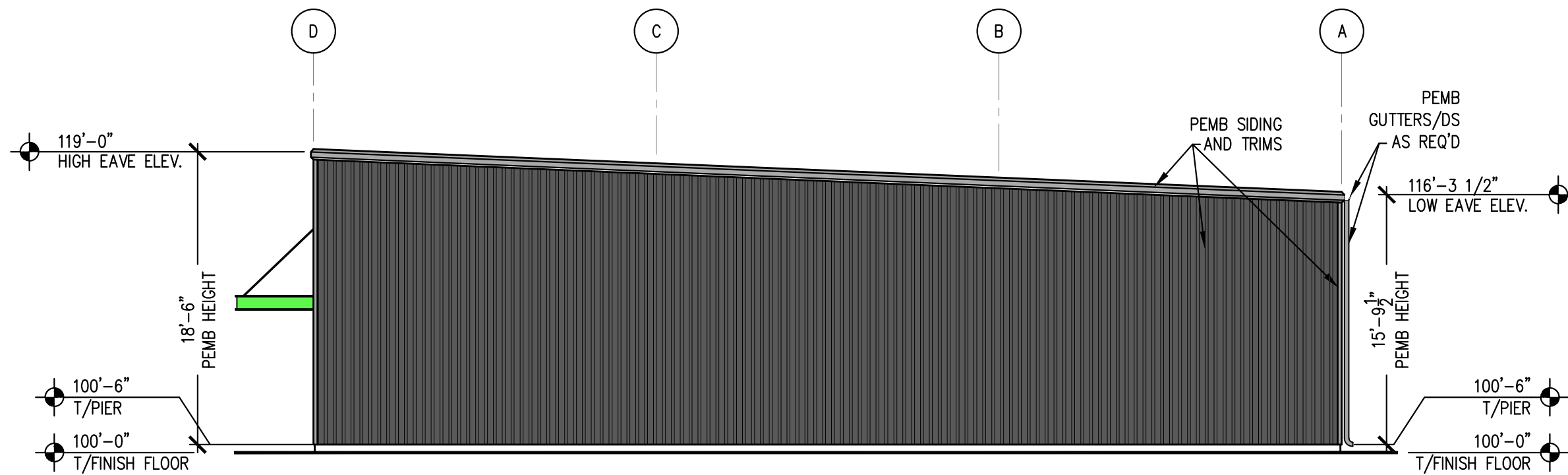
NORTH BUILDING ELEVATION

SCALE 1/8"=1'-0"



WEST BUILDING ELEVATION

SCALE 1/8"=1'-0"



EAST BUILDING ELEVATION

SCALE 1/8"=1'-0"

Exterior Finishes	
MATERIAL	DESCRIPTION
METAL BUILDING PANEL	CHIEF- CS PANEL- CHARCOAL GRAY
ROOFING	GALVALUME
OVERHEAD DOOR	WHITE
ALUMINUM ENTRANCE	PENDING FINAL COLOR
EXTERIOR HM DOOR/FRAME PAINT	PAINTED TO MATCH CHIEF- ASH GRAY
WINDOWS	WHITE
ALL TRIMS AND GUTTERS	CHIEF- ASH GRAY
DOWNSPOUTS- CLOSED/SOLID	CHIEF- CHARCOAL GRAY
FRONT CANOPY	PENDING FINAL COLOR

EXTERIOR FINISH NOTE:
MANUFACTURERS' PROPRIETARY SPECIFICATIONS FOR THE SCHEDULED PRODUCTS ABOVE SHALL ESTABLISH THE BASIS OF REQUIRED PERFORMANCE. ALTERNATE PRODUCTS/MANUFACTURERS THAT MEET OR EXCEED THESE SPECIFICATIONS WILL BE CONSIDERED FOR SUBSTITUTION PRIOR TO CONTRACTS BEING AWARDED. BIDDERS SHALL SUBMIT CUT SHEETS AND ALL OTHER SUPPORTING DATA REQUIRED TO ESTABLISH EQUIVALENCY AT THE TIME OF BID SUBMISSION. ARCHITECT SHALL HAVE DISCRETION TO ACCEPT OR REJECT ANY PROPOSED SUBSTITUTIONS.

SUBMITTALS / REVISIONS	
7/11/22	ISSUE TO STATE
7	
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14	

15B DEVELOPMENT

3505 REDBOW DRIVE
VALPARAISO, IN 46383

Chester Inc.
Architectural Services
Peter D. Brannen • Joseph M. DeCenzo
588 Emerson Drive, Valparaiso, IN 46383
Phone: (219) 465-7550

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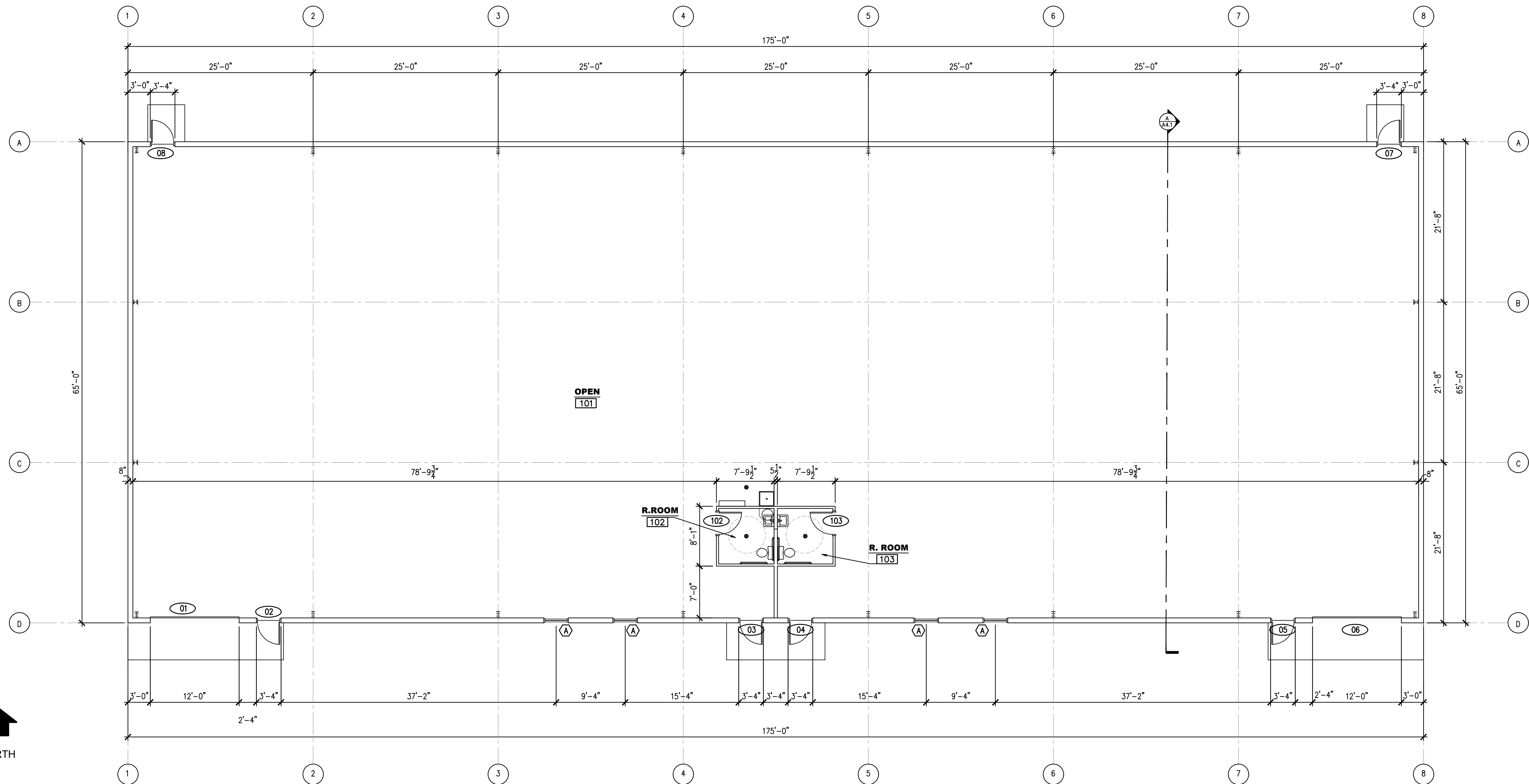
JOB NUMBER: AR22-27

BUILDING ELEVATIONS
AND EXTERIOR
FINISH SCHEDULE

DRAWING NUMBER

A1.1

- GENERAL PLAN NOTES:
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS & NOTIFY ARCHITECT OF CONFLICTS WITH DRAWINGS.
 2. EXTERIOR OF BUILDING TO BE PEMB. DRAWINGS TO BE SUPPLIED BY PEMB COMPANY.
 3. INTERIOR STUD WALLS TO BE 2x4s @ 16" O.C. W/ 5/8" DW, EACH SIDE AND SOUND BATT INSULATION. WALLS TO BE BUILT
 4. TOILET ROOMS PARTITION ASSEMBLY = 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" D.W. EACH SIDE. U.N.O. FRAMING TO 9'-0" A.F.F. D.W. CEILINGS @ 8'-0"
 5. "GREEN BOARD" D.W. SHALL BE USED AT ALL WET AREAS
 6. INTERIOR DRYWALL SHALL BE HELD 3/8" ABOVE T.O. CONCRETE SLABS, WHERE OCCURS
 7. CONTRACTOR TO FURNISH WOOD BLOCKING AS REQUIRED FOR ALL TOILET ROOM ACCESSORIES, MILLWORK, OWNER EQUIPMENT & WHERE INDICATED ON PLAN.
 8. ALL INTERIOR WALLS TO BE FIGURED TO BE WHITE LINER PANEL. RESTROOMS AND PARTITION WALLS TO BE FINISHED WITH WHITE PAINT, NO FLOORING, STANDARD VINYL WALL BASE IN RESTROOMS.
 9. CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS AS REQUIRED PER CODE & LOCAL FIRE MARSHAL REQUIREMENTS.



OVERALL FLOOR PLAN

SCALE: 1/8"=1'-0"

NORTH

WINDOW SCHEDULE								
NO.	GLAZING TYPE	QUAN.	FRAME				TOP OF OPENING FROM FINISH FLOOR	NOTE
			MAT'L	FINISH	SIZE	R.O.		
A	CLEAR	4	VINYL	WHITE	3'-4" X 5'-0"	3'-4 1/2" X 5'-0 1/2"	7'-2"	NOTE 2
B	CLEAR	2	VINYL	WHITE	8'-0" X 2'-0"	8'-0 1/2" X 2'-0 1/2"	15'-0"	

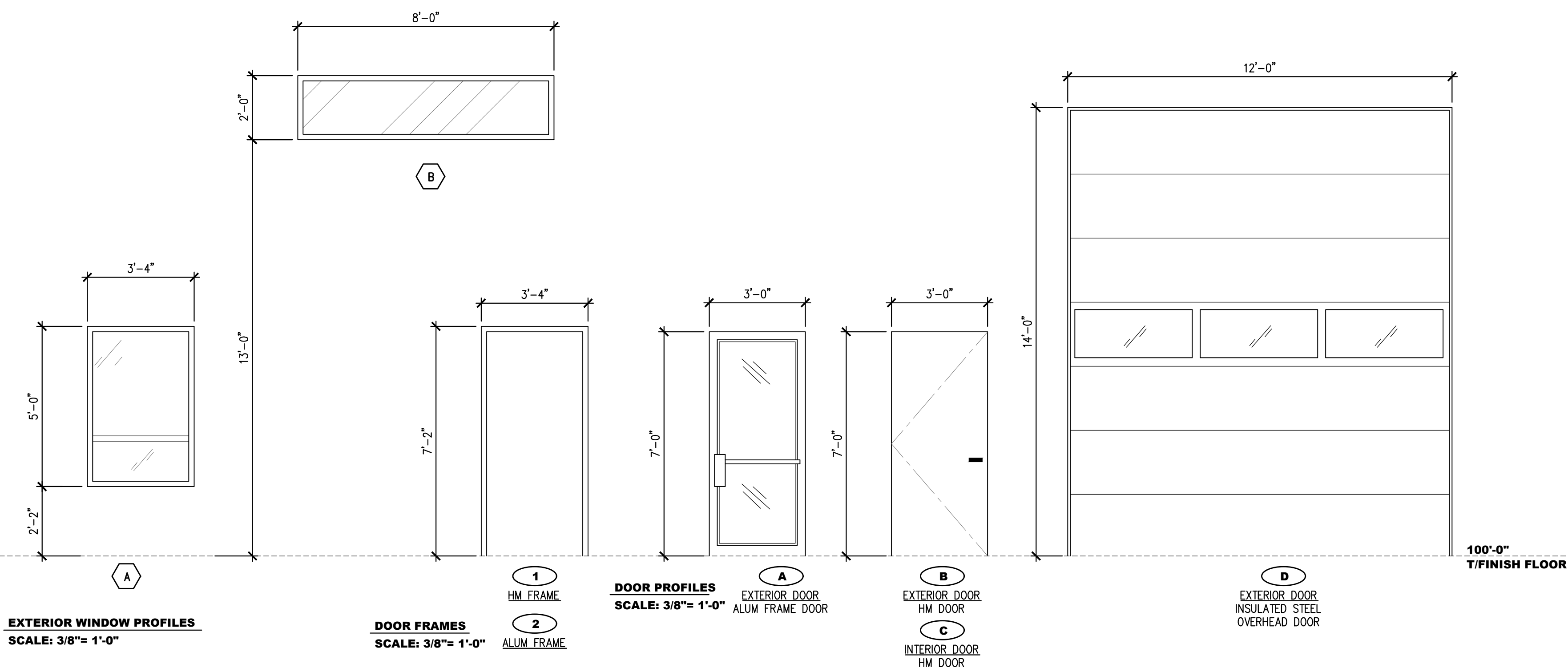
NOTES:

1. EXTERIOR WINDOWS HAVE 2" FRAME & INSULATED DOUBLE GLAZING
2. WINDOWS ALREADY PURCHASED AND AVAILABLE FROM CHESTER, TO BE INSTALLED BY CONTRACTOR

DOOR SCHEDULE												
DOOR					FRAME							
NO.	TYPE	MAT'L	FINISH	SIZE	PROFILE	MAT'L	FINISH	SIZE	THROAT	HDWRE.	REMARKS	
01	D	INSULATED OVERHEAD DOOR		12'-0" x 14'-0"	OVERHEAD DOOR FRAME WITH ELECTRIC OPERATOR							
02	B	HM	PAINT	3'-0" x 7'-0"	1	HM	PAINT	3'-4" x 7'-2"		2	DOOR BY PEMB	
03	A	ALUM	CLEAR	3'-0" x 7'-0"	2	ALUM	CLEAR	3'-4" x 7'-2"		1		
04	A	ALUM	CLEAR	3'-0" x 7'-0"	2	ALUM	CLEAR	3'-4" x 7'-2"		1	DOOR BY PEMB	
05	B	HM	PAINT	3'-0" x 7'-0"	1	HM	PAINT	3'-4" x 7'-2"		2		
06	D	INSULATED OVERHEAD DOOR		22'-0" x 14'-0"	OVERHEAD DOOR FRAME WITH ELECTRIC OPERATOR							
07	B	HM	PAINT	3'-0" x 7'-0"	1	HM	PAINT	3'-4" x 7'-2"		2	DOOR BY PEMB	
08	B	HM	PAINT	3'-0" x 7'-0"	1	HM	PAINT	3'-4" x 7'-2"		2	DOOR BY PEMB	
102	C	HM	PAINT	3'-0" x 7'-0"	1	HM	PAINT	3'-4" x 7'-2"		3		
103	C	HM	PAINT	3'-0" x 7'-0"	1	HM	PAINT	3'-4" x 7'-2"		3		

HM ALUM	HOLLOW METAL ANODIZED ALUMINUM	NOTES: 1. DOOR NUMBERS COORDINATE WITH ROOM NUMBERS. (SEE SHEET A-3.1) 2. PROJECT MGR. TO VERIFY HARDWARE WITH OWNER. 3. ALL DOORS SHALL HAVE TEMPERED GLASS WHERE NECESSARY PER CODE. 4. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER IBC 1003.3.1.8 5. ALL STANDARD SCW AND ALUM DOORS TO BE 1 3/4" THICK UNLESS NOTED OTHERWISE. 6. DOOR TO LOCK AUTOMATICALLY WHEN CLOSED. ALL DOORS TO OPEN WITH (1) KEY
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DOOR HARDWARE SCHEDULE			
1.	<u>ENTRY LOCKSET</u> (1) HINGE (1) CLOSER (1) TOUCHBAR EXIT DEV. (1) FULL HANDLE (1) THRESHOLD/SWEEP (1) WEATHERSTRIPPING	KAWNEER CONTINUOUS HINGE KAWNEER LCN 1260 SERIES KAWNEER 1786 RIM EXIT DEVICE KAWNEER STANDARD "ARCHITECT'S CLASSIC" CO-9 #45 ADA COMPLIANT ALUM. THRESHOLD & STANDARD SWEEP FULL PERIMETER WEATHERSTRIP PACKAGE	3: <u>PRIVACY LOCKSET</u> (3) HINGES (1) PRIVACY LOCK (1) WALLSTOP HAGERCO-BB1279 4.5X4.5 SCHLAGE-AL40S F76 ROCKWOOD-409
2.	<u>EXTERIOR HM LOCKSET</u> BY PEMB SUPPLIER		*ALL DOOR HANDLES TO BE SCHLAGE, AL SERIES LEVER DESIGN, SATURN (SAT) 626 *ALL CYLINDERS TO BE KAWNEER CONSTRUCTION CYLINDERS, FINAL KEY'D CYLINDERS BY OWNER



SUBMITTALS / REVISIONS		
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		8
1		9
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3		11
4		12
5		13
6		14

15B DEVELOPMENT

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VALPARAISO, IN. 46383

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OVERALL FLOOR PLAN,
WINDOW AND DOOR
SCHEDULES &
ELEVATIONS

DRAWING NUMBER

A3.1