

MEETING AGENDA

Valparaiso Board of Zoning Appeals
Tuesday, December 17th, 2019, 7:00 PM
Valparaiso City Hall, 166 Lincolnway

1. Roll Call
2. Adoption of November 19th, 2019 Meeting Minutes
3. Old Business
4. New Business

VAR19-024 – A petition filed by Stacks, LLC. c/o William Ferngren, 570 Vale Park Rd, Ste. B., Valparaiso IN, 46385. The petitioner requests a variance from Article 2, Section 2.204 (A)(2), of the Valparaiso Unified Development Ordinance, to allow for rooftop dining, on the second and third floors, to be a permitted functionally similar use in the Central Business District (CBD). A variance from Article 5, Section 5.303 (E)(2)(b), to vary the required location of signage between the top of the ground floor windows and twelve (12) inches below the bottom sill of the second-floor windows, to allow for signage outside of the sign band area and to be constructed with metal, fiberglass and similar construction materials. A variance from Article 5, Section 5, Table 5.303(B), to vary allow for a twenty-five (25) square foot sign to be placed on a building wall that does not face a public way. A variance from Article 5, Section 5.303 (H), to allow for an internally illuminated sign in the CBD district. A variance from Article 11, Section 11.604 (C)(1), to vary the maximum Exterior Insulation Finish Systems (EIFS) percentage of fifteen (15) percent, to allow for twenty-eight (28) percent EIFS on the western exterior wall. A variance from Article 11, Section 11.602 (C), to allow for retractable awnings on the second floor of the building. A revocation of prior sign variance(s) and public right-of-way use agreement from case file VAR18-026. The Property is located at 175 Lincolnway, in the Central Business District (CBD) Zoning District.

VAR19-025 – A petition filed by LVG Legacy Group LLC. c/o William Ferngren, 570 Vale Park Dr., Suite B, Valparaiso IN, 46385. The petitioner requests a variance from Article 3, Section 3.503, Table 3.503, of the Valparaiso Unified Development Ordinance, to vary the required street yard setback of twenty (20) feet. to allow for street yard setback of 15.49 feet. A variance from Article 3, Section 3.503, Table 3.503, to vary the required rear yard setback of twenty-five (25) feet. to allow for a rear yard setback of 15.33 feet. A variance from Article 3, Section 3.503, Table 3.503, to vary the required building separation of

fifteen (15) feet to allow for a building separation of zero (0) feet. The Property is located at 3000-3002 Winter Park Dr, in the General Residential (GR) Zoning District.

SE19-001 – A petition filed by Nicholas Sommer c/o William Ferngren, 570 Vale Park Ste B, Valparaiso IN, 46385. The petitioner requests a special exception from Article 2, Section 2.515, of the Valparaiso Unified Development Ordinance, to allow for a Child Care Home (Day Care) on the property. The Property is located at 7 Campbell St, in the Central Place (CP) Zoning District.

WC19-001 – A petition filed by Douglas Dolan, 343 S. Kirkwood Rd #5, Kirkwood MO, 63122. The petitioner requests a Wireless Communications Facility Special Use from Article 2, Section 2.551, of the Valparaiso Unified Development Ordinance, to allow a Major Wireless Communications Facility in the Suburban Residential (SR) Zoning District. The Property is located at 2902 Campbell St., in the Suburban Residential (SR) Zoning District.

5. Adjournment

Michael Micka, President – Board of Zoning Appeals

Tyler Kent, Planning Director

Next Meeting: **January 21st, 2020**

FILED

R# 49289
CL# 5940

NOV 22 2019

Sharon Emerson

Clerk-Treasurer

Petition #: VAP-19-024

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No. ☐)
- ☒ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☐ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

___ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
___ Does not interfere substantially with the Comprehensive Plan adopted.
___ Petitioner will comply with all ordinance parking requirements.
In Support of an application for Special Exception, the Petitioner states that the granting of such request:

___ Will not generate excessive vehicular traffic on minor residential streets;
___ Will not create vehicular parking or traffic problems;
___ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
___ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
___ Will comply with the requirements of the district in which proposed use is to be located.
___ Petitioner will comply with all ordinance parking requirements.

In support of such application for Special Exception for Home Occupation, Petitioner states:

___ That no person other than members of the family residing on the premises will be engaged in the home occupation.

___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.

___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.

___ That no home occupation will be conducted in any accessory building.

___ That there will be no sales area unless specifically permitted by the BZA.

___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.

___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

c/o Ferngren Law Office, LLC
570 Vale Park Road Ste. B
Valparaiso, IN 46385

bill@ferngrenlaw.com

Stack's, LLC

219-771-0155

Name (Please Print)

Address

Phone

OWNER OF SUBJECT PROPERTY:

COURTNEY MORROW, LLC

SHAW

Name (Please Print)

Address

Phone

ADDRESS OF SUBJECT PROPERTY: 175 Lincolnway

Subject property fronts on the S side between (streets) LAURETTE & NAPOLEON
in the CBB Zoning District.

Legal Description of Subject Property: (Exhibit No.)

SEE ATTACHED

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION, ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.)

SEE ATTACHED

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or Administrative Relief is sought:

Article: Section: Paragraph: Item:
: : : :
: : : :

Attach a Site Plot Plan drawn to scale showing:

- a. scale
- b. lot: shape, location, dimension, and area
- c. existing improvements on the lot (including, structures, sidewalks, & driveways) and the percent coverage of improvements on the lot
- d. distance for lot lines, right-of-way lines, or easements to any structure for: front, back and side yards

Please fill in:

Front Setback N/A Rear Setback N/A Side Setbacks N/A / N/A Lot Coverage N/A
Height N/A

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. eq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____

BZA Application Fees

____ Use Variance	\$200
____ Single Family Development Standards Variance	\$50
☒ Commercial Development Standards Variance	\$150
____ Special Exception/Special Use	\$200
____ Relief to an Administrative Decision	\$200
____ Special Meeting	\$1000
____ Conditional Use	\$100
____ Wireless Communications Facility Special Use – Major	\$500
____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$150

Affidavit of Consent of Property Owner

(To be presented with application for Board of Zoning Appeals)

_____, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

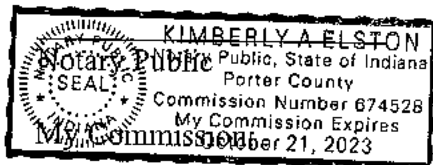
1. That COURTNEY MORRIS, LLC ("Owner") (is/are) the legal owner(s) of real property that is the subject of a Petition before the BZA.
2. That Owner authorizes STICK'S, LLC ("Petitioner") to seek the relief sought in the Petition filed before the BZA. Petitioner is further authorized to commit to any reasonable restriction requested by the BZA or proposed by the Petitioner.

WMATZ RTT 11/22/13
Property Owner Date

RTT FOR COURTNEY MORRIS, LLC

Property Owner Date

Subscribed and sworn to before me this 22 day of November, 20 19.



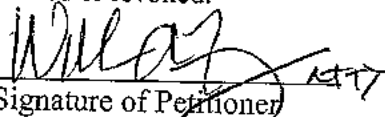
11/22/2019
Date

Kimberly A. Elston

Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.


Signature of Petitioner

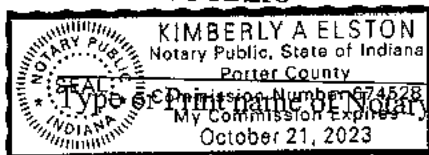
William Ferisbren
Printed Name


Signature of Property Owner

William Ferisbren
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: _____, and
acknowledge the execution of the foregoing document, this 22 day of Nov, 2019.

NOTARY PUBLIC



My Commission Expires: 10/21/2023
Resident of Porter County

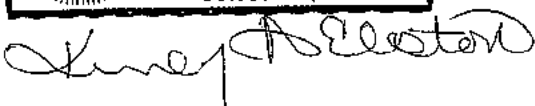


Exhibit "A"

Variance Petition

175 Lincolnway - Napoleon Center

Lot 3 and Lot 4 in Block 25, in the Original Survey of the Town, now City of Valparaiso, as per plat thereof recorded in Deed Record "A", page 13 in the Office of the Recorder of Porter County, Indiana, and also including the entire vacated alley, adjoining said Lot 3 to the east, commonly known as the Napoleon Center at 175 West Lincolnway, located in Valparaiso, Indiana

Exhibit B

Variance Petition

175 Lincolnway - Napoleon Center

Description of Project

Amendment to prior variance granted to allow additional rooftop dining area for Stack's restaurant above the upper floor enclosed area.

Amendment to prior variance granted for exterior signage according to enclosed plans.

Variance to allow EIFS material in accordance with the scheduled attached to this application.

Valparaiso BZA

Petition - Stack's LLC

175 Lincolnway

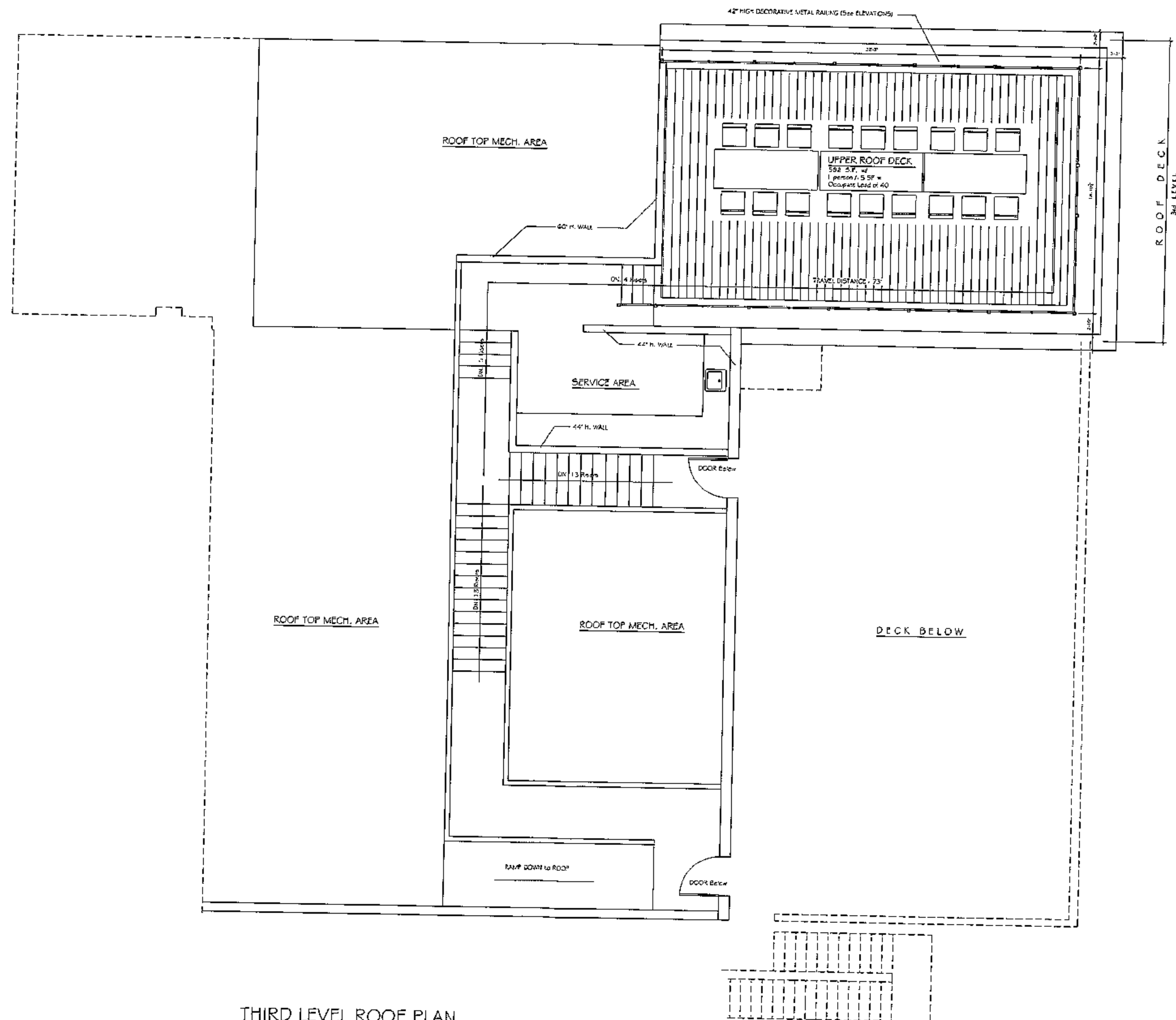
Owner Notice List

Owner

Mangus Michelle
Commissioners Of Porter County
YOUR Insurance Inc
Youth Service Bureau Of Porter Coun
Seven Napoleon Partnership
First Partners
Flum Rosemarie C Trust
GG & C Properties LLC
DAM Fine Properties LLC
Smith Ready Mix Inc
Buck Stephen R Revocable Trust
Vass Development Corporation
Worstell Diane M Living Trust & 72-
Addison Investments LLC
Trust No 120159
Bodensteiner Ivan E & Patricia A/H&
Magiera Michael A & Albers Kristine/
Greater Valparaiso Chamber Of Comme
Bpo Elks 500 Valparaiso Lodge
Valparaiso Partners Llc
68 Lincolnway LLC

Owner Address

753 Medwin Way Crown Point IN 46307
157 Indiana Ave Valparaiso IN 46383
251 Indiana Ave Valparaiso IN 46383
253 Lincolnway Valparaiso IN 46383
7 Napoleon St Valparaiso IN 46383
PO Box 1352 Valparaiso IN 46384
11603 Georgetowne Ct Potomac MD 20854
1351 Silhavy Rd Ste 100 Valparaiso IN 46383
161 Lincolnway Valparaiso IN 46383
251 Lincolnway Valparaiso IN 46383
285 Durness Ct Valparaiso IN 46385
PO Box 345 Valparaiso IN 46384
402 Burlington Beach Rd Valparaiso IN 46383
151 Lincolnway Valparaiso IN 46383
Dan Marchetti CFO Urschel Labs 1200 Cutting Edge Dr Chesterton IN 46304
5 Napoleon St Valparaiso IN 46383
3612 Meadowlake Dr Valparaiso IN 46383
162 Lincolnway Valparaiso IN 46383
PO Box 151 Valparaiso IN 46384
259 Indiana Ave Valparaiso IN 46383
1351 Silhavy Ste 100 Valparaiso IN 46383



THIRD LEVEL ROOF PLAN
SCALE 1/4" = 1'-0" 835 SF - GROSS DECK AREA

WAGNER
ARCHITECTURE

54 INDIANA AVENUE
VALPARAISO, IN 46383
TEL. 219-531-2468
FAX. 219-531-0008

© 2019 WAGNER ARCHITECTURE
WAGNER ARCHITECTURE ASSOCIATES, LLC
COPYRIGHT, PATENT AND TRADEMARK
NOTICES: THESE DRAWINGS
SHALL NOT BE REPRODUCED, COPIED,
OR TRANSMITTED IN ANY FORM OR BY ANY
MEANS, WITHOUT THE WRITTEN CONSENT
OF WAGNER ARCHITECTURE.

ADDITIONS & ALTERATIONS

STACK'S ROOFTOP DINING

VALPARAISO, INDIANA

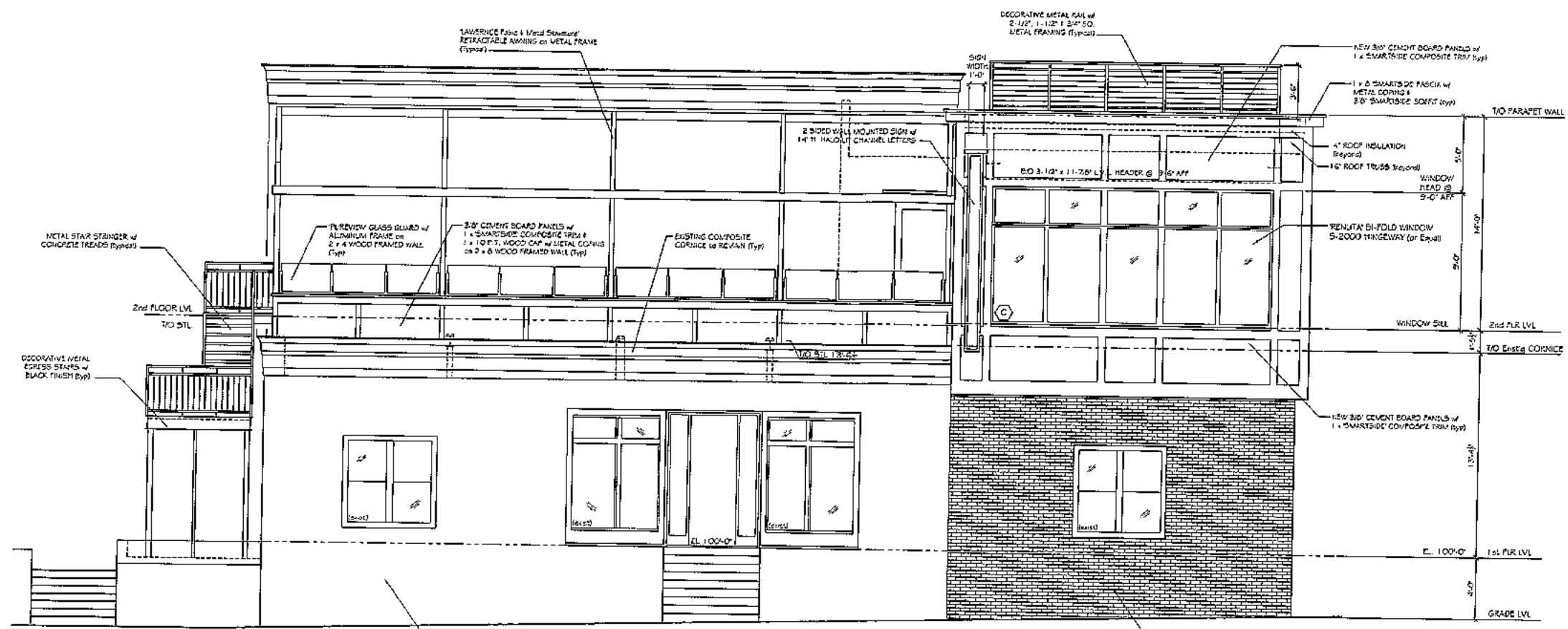
175 LINCOLNWAY Suite G

NO.	DATE	DESCRIPTION	BY	CHKD BY
6	1/12/19	Upper Roof Deck Railing Note Update	phs	phs
7	2/20/19	Roof Terrace Access Detail	phs	phs
8	7/25/19	Client w/ Vendor Review of 1/2" scale	phs	phs
9	1/22/19	ARCHITECT REVIEW	phs	phs

SHEET:
A2b

ADDITIONS & ALTERATIONS
STACK'S ROOFTOP DINING
VALPARAISO, INDIANA
175 LINCOLNWAY Suite G

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	1/12/11	Upper Roof Deck	WAGNER
2	2/20/11	Roof Truss/Beam	WAGNER
3	7/25/11	Coord. w/ Vendor	WAGNER
4	10/19/11	Final for	WAGNER
5	10/19/11	Agency Review	WAGNER
SHEET:			
A.3			



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

$$\frac{5}{6}CA_1 = 1/4 = 1/2$$

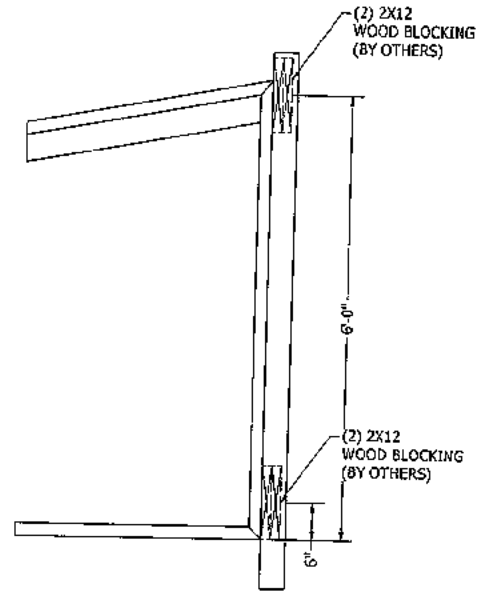
SCALE 1/4" = 1'-0"

2
A.4

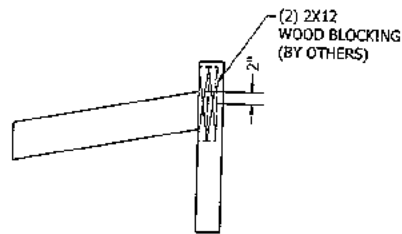
NOTES:

- 1) FIXED WINDOW TO BE MARLIN INTEGRITY. EXTERIOR COLOR TO BE BRONZE, INTERIOR TO BE SMOKE. INTERIOR HARDWARE COLOR TO BE BRASS.
- 2) NO JAMB EXTENSIONS - DRYSILL RETURNS TO TOP AND SIDES OF WINDOW. FIELD APPLIED SILL ON WINDOW TO BE SOLID SURFACE MATERIAL, OR SIMILAR.
- 3) SHOP DRAWINGS REQUIRED FOR MARLIN ULTIMATE BIFOLD DOOR.
- 4) SHOP DRAWINGS REQUIRED FOR RELIANT 3-2000 HINSEWAY WINDOW.

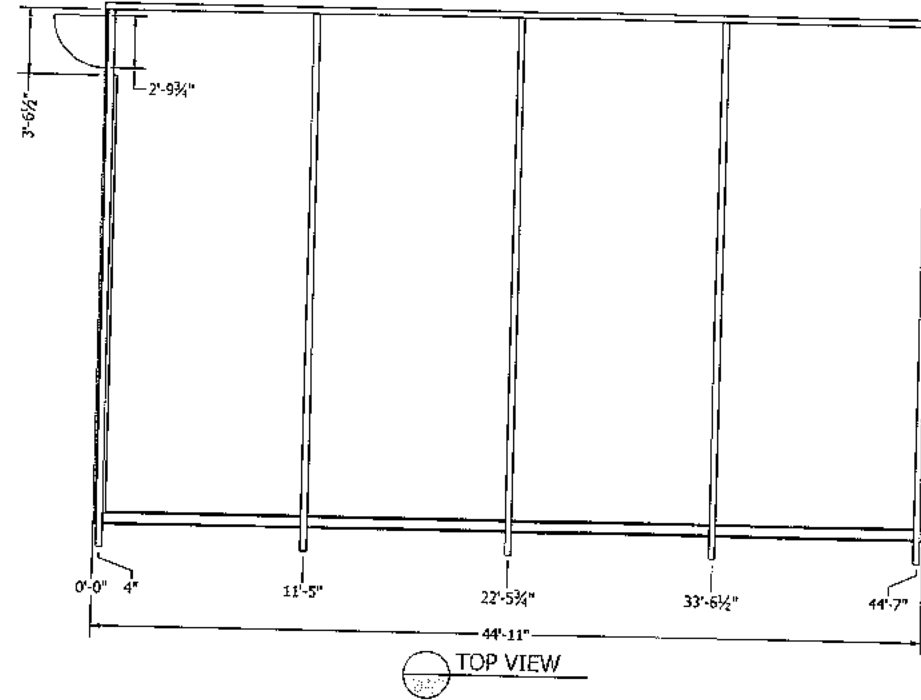
SCALE 300-1000



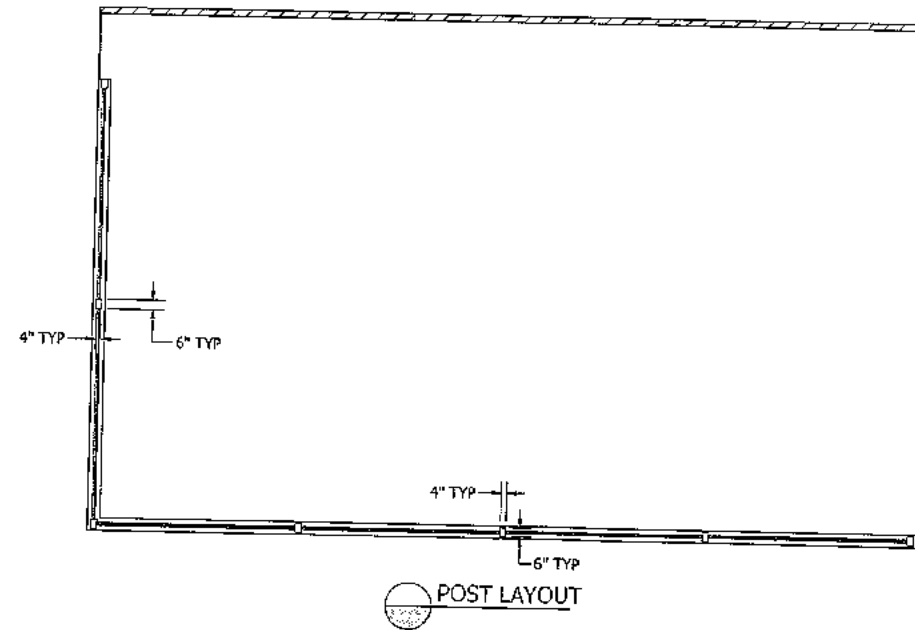
A-A SECTION THRU A-A, MOUNTING DETAILS
NTS TYP ON BOTH ENDS



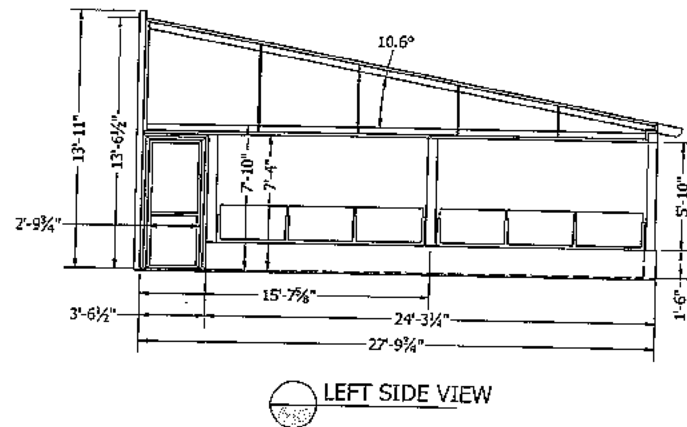
B-B SECTION THRU B-B, MOUNTING DETAILS
NTS TYP ON ALL RAFTERS



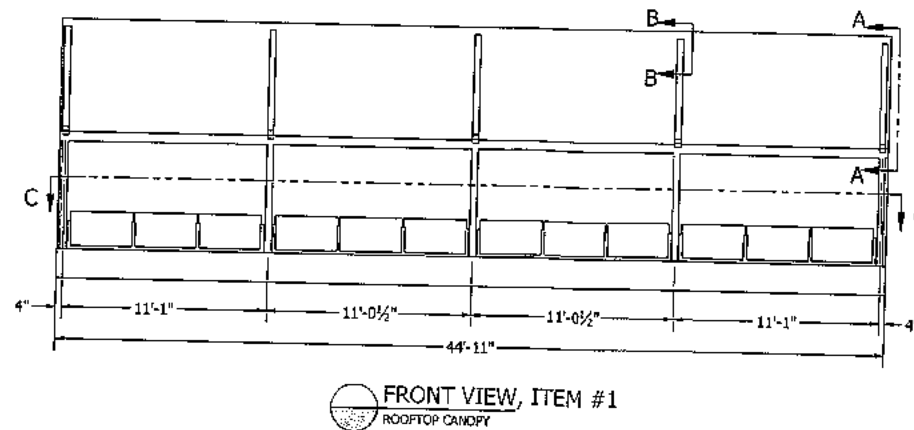
TOP VIEW



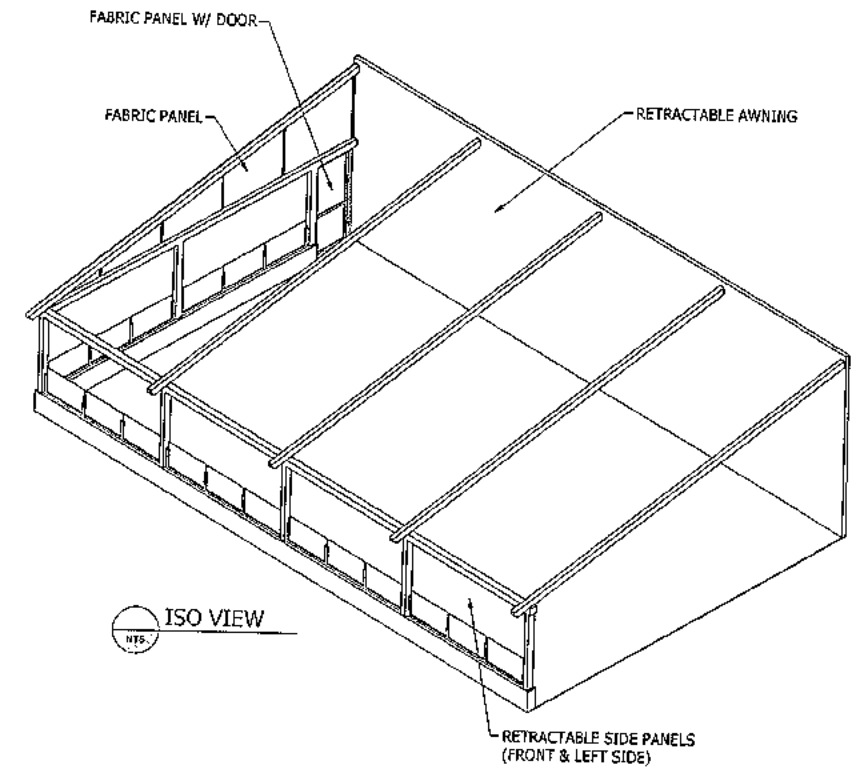
POST LAYOUT



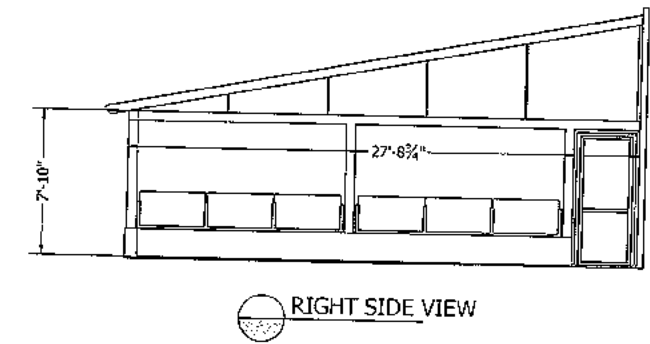
LEFT SIDE VIEW



FRONT VIEW, ITEM #1
ROOFTOP CANOPY



ISO VIEW



RIGHT SIDE VIEW

The fabrication drawings are being approved at risk by VLS Construction. VLS Construction is conducting all field measuring and providing all fabrication dimensions and details even though a field measure might not be occurring in some/all areas. Any and all adjustments that might be needed, at any time during or after the fabrication process, which differ from the approved fabrication drawings will be billed as a change order. VLS Construction will be responsible for any down time on site (on a time and material basis) associated with any site conditions that change between now and when the canopies will be installed. There is a zero tolerance on framework/all items. VLS Construction will maintain records of the measurements taken with a calibrated tool and will provide said measurements upon request.

X _____ Date _____

GENERAL DIMENSIONS IN BLACK
CUT LENGTHS IN RED
INSTALLATION NOTES IN BLUE
ALL DIMENSIONAL DIMENSIONS

LAWRENCE
Fabric Structures Inc.
(MATH)
3509 Tree Court Industrial Blvd.
St. Louis, Missouri 63122
636.861.6100 636.861.0150 fax

CUSTOMER
STACKS BAR & GRILL
175 LINCOLNWAY
VALPARAISO, IN. 46385
DWS NO. 12552
DRAFTED BY marcsterzik
DATE 9/24/2019
REV 5
PAGE 1 OF 1

FILED *RD 49291*
for *ck 1178*

NOV 22 2019

Sharon Emerson Schubert

Clerk-Treasurer

Petition #: VAR-19-025

PETITION TO
VALPARAISO BOARD OF ZONING APPEALS

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- ☐ Arise from a condition peculiar to the property;

- ___ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
- ___ Does not interfere substantially with the Comprehensive Plan adopted.
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- ___ Will comply with the requirements of the district in which proposed use is to be located.
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___ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.

___ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.

___ That no home occupation will be conducted in any accessory building.

___ That there will be no sales area unless specifically permitted by the BZA.

___ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.

___ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER: W6 LEACH GROUP, LLC 219-771-0155
c/o WILLIAM FERNEREN, ESQ.
570 VALLE PARK ROAD, STE B
VALPARAISO, IN 46285 bill@fernengrenlaw.com

Name (Please Print) Address Phone

OWNER OF SUBJECT PROPERTY:

SAME
 Name (Please Print) Address Phone

ADDRESS OF SUBJECT PROPERTY: 3000/3002 WINTER PARK DRIVE

Subject property fronts on the E side between (streets) VALLE PARK & BEAUTY CREEK COURT
 in the 6R Zoning District.

Legal Description of Subject Property: (Exhibit No.)

LOT 90 IN BEAUTY CREEK VILLA HOMES
PER PLAT RECORDED IN PLAT FILE 49-P-6
AS DOCUMENT 2005-037457, PORTER COUNTY RECORDER

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION,
ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.)

TO ALLOW CONSTRUCTION A DUPLEX WITH A
SIDE/STREET SETBACK OF 15.49' +/- AND A REAR
SETBACK OF 15.33' +/-

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or
Administrative Relief is sought:

Article: 3 Section: 3 Paragraph: 5 Item: TABLE 3.501
: : : :
: : : :

Attach a Site Plot Plan drawn to scale showing:

- scale
- lot: shape, location, dimension, and area
- existing improvements on the lot (including, structures, sidewalks, & driveways)
and the percent coverage of improvements on the lot
- distance for lot lines, right-of-way lines, or easements to any structure for: front,
back and side yards

Please fill in:

Front Setback 20 Rear Setback 20 Side Setbacks 6 / 12 Lot Coverage 42% .50
Height 23'

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STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____

BZA Application Fees

____ Use Variance	\$200
☒ Single Family Development Standards Variance	\$50
____ Commercial Development Standards Variance	\$150
____ Special Exception/Special Use	\$200
____ Relief to an Administrative Decision	\$200
____ Special Meeting	\$1000
____ Conditional Use	\$100
____ Wireless Communications Facility Special Use – Major	\$500
____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE \$50

Please read and sign the following statement:

WG ~~US~~ Group, Inc

Signature of Petitioner

L. JOSEFA GREGOLINE, MGR
Printed Name

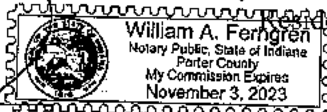
Same
Signature of Property Owner

Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: L. Joseph GREGOLINE, and acknowledge the execution of the foregoing document, this 21 day of Jan, 2019.

NOTARY PUBLIC

My Commission Expires: _____
 Resident of _____ County



Type or Print name of Notary

Valparaiso Board of Zoning Appeals

LJG Legacy Group, LLC

Notice List 300' Adjoining Owners

Owner

Danzi Frederick & Danzi Kathleen E
Kingdom Vision Investments LLC
Howard Seretha N
Krusarowski Ilija & Krusarowski Mlade
Bowman Rick D & Barbara J Revocable
Wenglarz Margie
Goeringer Marc T & Denise L/H&W
Mitreski Kliment P & Misael Krusaro
Gioia Daniel A & Helen D/H&W
Pendergrass James
Van Proven John & Norman Phillip A/
Pupillo John Michael
Zappetillo John P
Dubbs Michelle
Sheets Gary L & Cynthia A/H&W
Porter Harry L Jr & Marilyn L Revoc
Hendrix Carey L
Beauty Creek Villa Homes Property O
Russell Robert L & Judith M/H&W
Turman Bonnie C
LaMantia Dorothy L & Claypool Eva M
Berg Judith K

Owner Address

2153 Walker Dr Valparaiso IN 46385
320 Wren Ct Chesterton IN 46304
3010 Winter Garden Dr Valparaiso IN 46385
1625 Blue Heron Ct Crown Point IN 46307
3007 Winter Park Dr Valparaiso IN 46385
2059 Vale Park Rd Valparaiso IN 46385
3001 Winter Park Dr Valparaiso IN 46385
1035 Stillwater Pkwy Crown Point IN 46307
3012 Winter Garden Dr Valparaiso IN 46385
2904 Winter Garden Dr Valparaiso IN 46385
320 Wren Ct Chesterton IN 46304
3002 Winter Garden Dr Valparaiso IN 46385
3000 Winter Garden Dr Valparaiso IN 46385
3008 Winter Garden Dr Valparaiso IN 46385
3003 Winter Park Dr Valparaiso IN 46385
3012 Winter Park Dr Valparaiso IN 46385
3006 Winter Garden Dr Valparaiso IN 46385
c/o 1st American Mgmt Co Inc 3408 Enterprise Ave Valparaiso IN 46383
3004 Winter Garden Dr Valparaiso IN 46385
3009 Winter Park Dr Valparaiso IN 46385
2061 Vale Park Rd Valparaiso IN 46385
3014 Winter Park Dr Valparaiso IN 46385



 BeaconTM City of Valparaiso, IN

Report

Parcel ID	640910478009000004
Address	300D-3002 WINTER PARK DR/205B-2060 VALE PA
City	VALPARAISO IN 46385
Township	0002-CENTER TOWNSHIP
Legal Description	BEAUTY CREEK VILLA HOMES LOT 90 .27A DITCH
Neighborhood	BEAUTY CREEK VILLAS
Tax District	004-VALPARAISO (CENTER)
School Corp	VALPARAISO COMMUNITY
Property Class	Vacant - Platted Lot
Acreage	.00

Owner

LG Legacy Group
1581 Hogan Ave
Attn: L Joseph Gregoline
Chesterton IN 46304

NEITHER THE CITY NOR ITS OFFICERS OR EMPLOYEES MAKES ANY WARRANTY, EXPRESS OR IMPLIED, INCLUDING WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, OR ASSUMES ANY LEGAL LIABILITY OR RESPONSIBILITY FOR THE ACCURACY, FUNCTIONING, COMPLETENESS, OR USEFULNESS OF THE DATA OR GIS LAYERS.

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Last Data Upload: 11/20/2019, 3:47:28 PM

Version 2.3.21

Developed by
 **Schneider**
GEOSPATIAL

SKETCH PLAT

LOT 90 IN BEAUTY CREEK VILLA HOMES
CITY OF VALPARAISO
PREPARED FOR: LG LEGACY GROUP

LEGAL DESCRIPTION

(PER VERBIAGE CONTAINED IN WARRANTY DEED RECORDED SEPTEMBER 18, 2013 AS DOCUMENT NO. 2013-024757)

LOT 90 IN BEAUTY CREEK VILLA HOMES, AS PER PLAT THEREOF, RECORDED DECEMBER 5, 2005 IN PLAT FILE 49-F-6 AS INSTRUMENT NO. 2005-037457 IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

ADDRESS: 3000-3002 WINTER PARK DRIVE VALPARAISO IN 46385

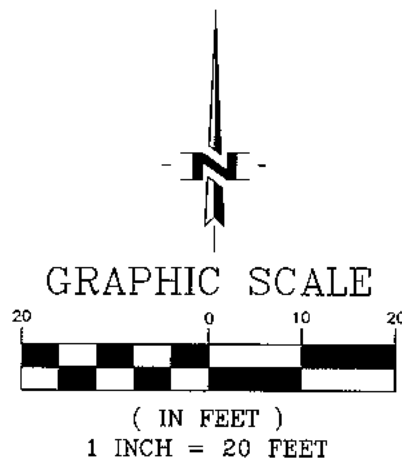
PARCEL NUMBER: 64-09-10-478-009.000-004

DON'T DIG BLIND
CALL 2 WORKING DAYS BEFORE YOU DIG "IT'S THE LAW"

CALL 811 "HOLEY MOLEY"

1-800-382-5544 CALL TOLL FREE
1-800-428-5200 OUTSIDE INDIANA

UNDERGROUND UTILITIES ARE SHOWN FOR REFERENCE PURPOSES ONLY. THE LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE LOCATED BY THE RESPECTIVE UTILITY COMPANIES BEFORE ANY CONSTRUCTION OR EXCAVATION COMMENCES.



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE PARTIES NAMED ABOVE THAT THIS SKETCH PLAT WAS PREPARED UNDER MY SUPERVISION ON THE DATE INDICATED. THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR AN ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.



Frank A. Walsko 11/21/19
FRANK A. WALSKO
INDIANA REGISTERED LAND SURVEYOR LS# 20700105
DAVIES & ASSOCIATES LAND SURVEYING
1105 NORTH COUNTY ROAD 100 EAST
CHESTERTON IN 46304
PH: (219) 926-4353 FAX: (219) 926-2241

WINTER PARK DRIVE
ASPHALT ROAD - 60' RIGHT-OF-WAY

5' CONCRETE SIDEWALK

R=470.00'
A=54.69'

A=54.40'

N 12°5'18" W
30.78'

A=0.29'

R=20.00'
A=29.67'

N 89°47'16" E 127.93'

2-STORY BRICK
& FRAME DUPLEX

LOT 91A
(NOT INCLUDED)

PROPOSED
DRIVEWAY &
TEMPORARY
CONSTRUCTION
ENTRANCE

8' SIDE BUILDING LINE

PORCH

PROPOSED
LOT 90B
5,632 SQ.FT.±
0.129 ACRE±

{3002}

PROPOSED
LOT 90A
6,010 SQ.FT.±
0.138 ACRE±

{3000}

PROPOSED DUPLEX

N 81°25'48" E 121.00'

LOT 90
11,642 SQ.FT.±
0.267 ACRE±

S 00°12'44" E 95.79'

OPEN SPACE B
64-09-10-478-013.000-004
NOT INCLUDED

30' BUILDING LINE

20' UTILITY EASEMENT

N 90°00'00" W
22.07'

R=550.00'
A=69.34'

CONCRETE CURB

VALE PARK ROAD

ASPHALT ROAD - 100' RIGHT-OF-WAY

CONCRETE CURB

REVISIONS	BY

SKETCH PLAT
LOT 90 IN BEAUTY CREEK VILLA HOMES
CITY OF VALPARAISO
PREPARED FOR: LG LEGACY GROUP

**DAVIES & ASSOCIATES
LAND SURVEYING**
1105 NORTH COUNTY ROAD 100 EAST
CHESTERTON IN 46304
PH: (219) 926-4353 FAX: (219) 926-2241

DATE: 11/21/19
SCALE: 1"=20'
DRAWN BY: EMF
JOB NO: 19-295
SHEET
1
OF ONE SHEET

LOT 90 IN BEAUTY CREEK VILLA HOMES (SKETCH PLAT)
I. SCSK\PROJ\19-295\19-295.DWG 11/21/19

FILED R#49290
CL 5989

NOV 22 2019 206

Sharon Emerson Schubert

Clerk-Treasurer

Petition #: SE19-001

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- ☐ 1. Relief to an Administrative decision. (Exhibit No. ☐)
- ☐ 2. Variance(s) from the development standards.
- ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
- ☒ 4. Petition for Special Exception.
- ☐ 5. Special Exception from Home Occupation.
- ☐ 6. Conditional Use.

In support of an application for **Variance(s) from the Development Standards**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Petitioner will comply with all ordinance parking requirements.

In support of an application for a **Use Variance**, the Petitioner states that the granting of such request:

- ☐ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☐ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☐ Arise from a condition peculiar to the property;

☐ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
☐ Does not interfere substantially with the Comprehensive Plan adopted.
☐ Petitioner will comply with all ordinance parking requirements.
In Support of an application for Special Exception, the Petitioner states that the granting of such request:

- ☒ Will not generate excessive vehicular traffic on minor residential streets;
☒ Will not create vehicular parking or traffic problems;
☒ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
☒ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
☒ Will comply with the requirements of the district in which proposed use is to be located.
☒ Petitioner will comply with all ordinance parking requirements.

In support of such application for Special Exception for Home Occupation, Petitioner states:

- ☐ That no person other than members of the family residing on the premises will be engaged in the home occupation.
☐ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
☐ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
☐ That no home occupation will be conducted in any accessory building.
☐ That there will be no sales area unless specifically permitted by the BZA.
☐ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
☐ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER: EQUITY TRUST COMPANY CUSTODIAN
FBO NICHOLAS F. SOMMER IRA
C/O WILLIAM FERGUSON, ESQ.
570 VALE PARK, STE B, VALE PARK, IL 60395

214-771-0155
bill@ferngrenlaw.com

Name (Please Print) Address Phone

OWNER OF SUBJECT PROPERTY:

SAME
Name (Please Print) Address Phone

ADDRESS OF SUBJECT PROPERTY: 7 CAMPBELL STREET
Subject property fronts on the W side between (streets) JEFFERSON & LINCOLN
in the CP Zoning District.

Legal Description of Subject Property: (Exhibit No.)

SEE ATTACHED

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION,
ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.)

SEE VARIANCE TO ALLOW A CHILD CARE
HOME (DAY CARE) ON THE PROPERTY.
SHARED PARKING W/ PROPERTY ADJUTING
TO THE SOUTH

Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or
Administrative Relief is sought:

Article: Section: Paragraph: Item:
: : : :
: : : :

SECTION 2.515
CHILD CARE HOME
SPECIAL USE W/
SHARED PARKING

Attach a Site Plot Plan drawn to scale showing:

- scale
- lot: shape, location, dimension, and area
- existing improvements on the lot (including, structures, sidewalks, & driveways)
and the percent coverage of improvements on the lot
- distance for lot lines, right-of-way lines, or easements to any structure for: front,
back and side yards

Please fill in:

Front Setback N/A Rear Setback N/A Side Setbacks N/A / N/A Lot Coverage N/A
Height N/A

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling
Acts in Indiana Code 36-7-4-900 et seq.. The public hearing procedures are similar to a
courtroom hearing. Although it is not required that the Petitioner represented by legal counsel,
information and documentation pertaining to the petitioner should be prepared as if it were to
become part of a court hearing. Although the office of the City Planner is available to assist
the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate
variance petition. The Planning Department can be contacted Monday-Friday between 8:30 –
4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements
have been met.

STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____

BZA Application Fees

____ Use Variance	\$200
____ Single Family Development Standards Variance	\$50
____ Commercial Development Standards Variance	\$150
☒ Special Exception/Special Use	\$200
____ Relief to an Administrative Decision	\$200
____ Special Meeting	\$1000
____ Conditional Use	\$100
____ Wireless Communications Facility Special Use – Major	\$500
____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study
TOTAL FEE <u>\$200</u>	

Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.

[Signature]
Signature of Petitioner

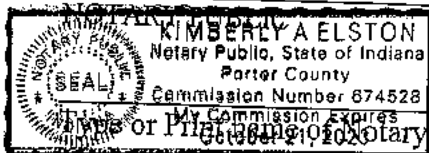
WILLIAM A. FERNBREN
Printed Name

Same
Signature of Property Owner

Signature of Property Owner

ATTY FOR:
EQUITY TRUST COMPANY CUST.
FBO NICHOLAS F. SOMMER IRA

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: WILLIAM FERNBREN and acknowledge the execution of the foregoing document, this 21st day of NOV, 2019.



My Commission Expires: 10/21/2023
Resident of Porter County

[Signature]

I certify that this is a
and exact copy of the
original instrument

AGO TITLE INSURANCE CO
Indiana Division

LEGAL DESCRIPTION

**CORPORATE
WARRANTY DEED**

File No.: CTNW1903445-ALC
CT Commercial LLC

THIS INDENTURE WITNESSETH, that The Caring Place, Inc. (Grantor) CONVEY(S) AND WARRANT(S) to Equity Trust Company Custodian FBO Nicholas F. Sommer IRA (Grantee) for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the following described real estate in Porter County in the State of Indiana, to wit:

For APN/Parcel ID(s): 64-09-23-435-004.000-004

Lots 1 and 4 in Block 7 in West Valparaiso, in the City of Valparaiso, as per plat thereof, recorded in Miscellaneous Record "A", page 32, in the Office of the Recorder of Porter County, Indiana.

Property: 7 Campbell St., Valparaiso, IN 46383

Subject to all current real estate taxes and assessments and all subsequent taxes and assessments.

Subject to all easements, covenants, conditions, and restrictions of record.

IN WITNESS WHEREOF, The undersigned person(s) executing this deed on behalf of Grantor(s) represent and certify that they are duly elected officers of Grantor(s) and have been fully empowered, by proper resolution of the Board of Directors of Grantor(s), to execute and deliver this deed; that Grantor(s) has full corporate capacity to convey the real estate described herein; and that all necessary corporate action for the making of such conveyance has been taken and done.

IN WITNESS WHEREOF, Grantor has executed this deed this 5th day of November, 2019.

The Caring Place, Inc.

BY: Mary Beth Schultz

Mary Beth Schultz
Chief Executive Officer

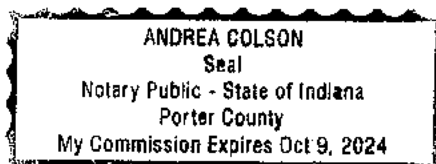
STATE OF INDIANA

COUNTY OF PORTER

Before me, a Notary Public in and for said County and State, personally appeared Mary Beth Schultz, as Chief Executive Officer of The Caring Place, Inc., who acknowledged the execution of the foregoing instrument, and who, having been duly sworn, stated that the representations therein contained are true.

Witness my hand and Notarial Seal this 5th day of November 2019

Signature: Andrea Colson
Printed: Andrea Colson
Resident of: Porter County
State of: INDIANA
My Commission expires: October 9, 2024



Valparaiso Board of Zoning Appeals
7 Campbell Street, Valparaiso, IN 46385
Equity Trust Company Custodian
FBO Nicholas F. Sommer IRA

300' Adjoining Owner Notice List

Dygert Norman G	356 Lincolnway Valparaiso IN 46383
McArthur Kevin & Coachys-McArthur M	100 Sylvan Dr Valparaiso IN 46385
Johnson Howard Van	7 Wayne St Valparaiso IN 46385
Mic Dea Llc	2053 Covenant Cir Valparaiso IN 46383
Hatala Sally R	355 Jefferson St Valparaiso IN 46383
Avila Andrew J	105 Campbell St Valparaiso IN 46385
Thiele Jennifer & Micheal/W&H	103 Campbell St Valparaiso IN 46385
4 Horseman LLC	359 W Lincolnway Valparaiso IN 46383
Martin Eric T	3901 Oak Grove Dr Valparaiso IN 46383
Klumpe Amber L	35 Warren Dr Valparaiso IN 46385
Whitman Gordon L & Jenny/H&W Etal W	4 Wayne St Valparaiso IN 46385
Ru Mar Investments LLC	552 W Lincolnway Valparaiso IN 46385
Powell Carl G & Julie M/H&W	5 Wayne St Valparaiso IN 46385
Hickman Delores J	359 Chicago St Valparaiso IN 46383
Chen Xiayong	202 W Ridge Rd Griffith IN 46319
Novak George	357 Lincolnway Valparaiso IN 46383
Jet Development Llc	212 Lincolnway Valparaiso IN 46383
353 Jefferson BPM LLC	2601 Inverness Dr Valparaiso IN 46383
Pierson Jordan P	454 Jefferson St Valparaiso IN 46385
Gebhardt Kirstyn	6 Wayne St Valparaiso IN 46385
Wilson Jeffrey Edward & Laurie Jo/H	2833 Foreman Ave Long Beach CA 90815
Klumpe Amber L	35 Warren Dr Valparaiso IN 46385
Mekola John & Judy/H&W	103 Wayne St Valparaiso IN 46385
McIntyre Mary J	355 Chicago St Valparaiso IN 46383
Dygert Norman G & Linda E/H&W	356 Lincolnway Valparaiso IN 46383
Boys & Girls Clubs of Greater North	8392 Mississippi St 2nd Floor Merrillville IN 464
Jet Development Llc	212 Lincolnway Valparaiso IN 46383
Parry Jeffrey A & Belden Amy J/JT	357 Jefferson St Valparaiso IN 46383
Redmon Bernard E & Judith A	105 Wayne St Valparaiso IN 46385
Martin Eric T	3901 Oak Grove Dr Valparaiso IN 46383
Hisick Raymond & Susan/H&W	357 Chicago St Valparaiso IN 46383
Campbell Center LLC	418 Wessex Rd Valparaiso IN 46385
Ru Mar Investments LLC	552 W Lincolnway Valparaiso IN 46385
Gilliam Dorothy & Gilliam James/JT	452 Jefferson St Valparaiso IN 46385
Caring Place The Inc	607 Bullseye Lake Rd Valparaiso IN 46383
Alahmad Yousef & Faten/H&W	10760 Mississippi St Crown Point IN 46307
Schroeder J Keith	3 Wayne St Valparaiso IN 46385
Jeer Enterprises LLC	481 Wexford Rd Valparaiso IN 46385

Cheney Kevin A
Martin Eric T
Major Ellyn Marie
Raby Arthur B & Jo Ellen/H&W
Lincolnway Office Llc

359 Jefferson St Valparaiso IN 46383
3901 Oak Grove Dr Valparaiso IN 46383
451 Chicago St Valparaiso IN 46383
106 Wayne St Valparaiso IN 46385
359 Lincolnway Valparaiso IN 46383

FILED

NOV 26 2019

R# 49315
DKC

~~7-2~~ 11.26.19
CK 7402

Sharon Green-Schmidt
Clerk-Treasurer

Petition #: WC19-001

**PETITION TO
VALPARAISO BOARD OF ZONING APPEALS**

The Petition shall be filed in duplicate with the City Clerk-Treasurer a minimum of 25 days prior to the date of the next Board of Zoning Appeals ("BZA") meeting. The BZA meets every third Tuesday of the month at 7:00 PM in City Hall, 166 Lincolnway, Valparaiso. The Petitioner and/or his/her representative must be present at the public hearing. The filing fee must be paid to the City Clerk-Treasurer upon filing a complete Petition. Please submit nine (9) copies of this petition.

PLEASE COMPLETE THE FOLLOWING:

The undersigned Petitioner and owner(s) of real estate, identified within this application as property within the jurisdiction of the City, respectfully petition the Board of Zoning Appeals to consider;

- Not applying for Variance?*
- ☐ 1. Relief to an Administrative decision. (Exhibit No.)
 - ☐ 2. Variance(s) from the development standards.
 - ☐ 3. Variance of the use from the terms of the Zoning Ordinances.
 - ☐ 4. Petition for Special Exception.
 - ☐ 5. Special Exception from Home Occupation.
 - ☐ 6. Conditional Use.

In support of an application for Variance(s) from the Development Standards, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of an application for a Use Variance, the Petitioner states that the granting of such request:

- ☒ Will not be injurious to the health, safety, morals, and general welfare of the community;
- ☒ Will not affect the use and value of the area adjacent to the property included in the variance in a substantially adverse manner; and arise from practical difficulties in the use of the property in conformity with the Zoning Ordinance.
- ☒ Arise from a condition peculiar to the property;

- ☒ Arises from unnecessary hardships if the Zoning Ordinance is strictly applied; and
- ☒ Does not interfere substantially with the Comprehensive Plan adopted.
- ☒ Petitioner will comply with all ordinance parking requirements.

In Support of an application for **Special Exception**, the Petitioner states that the granting of such request:

- ☒ Will not generate excessive vehicular traffic on minor residential streets;
- ☒ Will not create vehicular parking or traffic problems;
- ☒ Appropriate access roads, drives, utilities, drainage, facilities, and other necessary facilities have been or will be installed;
- ☒ Will make a substantial contribution to the neighborhood environment and will not infringe on the rights of properties in the vicinity of the expected use;
- ☒ Will comply with the requirements of the district in which proposed use is to be located.
- ☒ Petitioner will comply with all ordinance parking requirements.

In support of such application for **Special Exception for Home Occupation**, Petitioner states:

- ☒ That no person other than members of the family residing on the premises will be engaged in the home occupation.
- ☒ That the use of the dwelling unit for home occupation will be clearly incidental and subordinate to its use for residential purposes and not more than 25% of the floor area of the dwelling will be used in the conduct of the home occupation.
- ☒ That there will be no change in the outside appearance of the building or premises, or other visible evidence of the conduct of such home occupation, other than one sign-such sign not exceeding two square feet in area, non-illuminated and containing only the name and nature of the business.
- ☒ That no home occupation will be conducted in any accessory building.
- ☒ That there will be no sales area unless specifically permitted by the BZA.
- ☒ That no traffic will be generated by such home occupation in greater volume than would normally be expected in a residential neighborhood and any need for parking generated by the conduct of such home occupation will be met by required or permitted parking spaces, and will not be in the front yard.
- ☒ That no equipment or process will be used which creates noise, vibration, glare, fumes, odors, or electrical interference detectable to the normal senses which can be detected off premises.

PETITIONER:

Douglas K Dolan 3435 Kirkwood Road #5 314-963-7710
 Name (Please Print) Address Box 220130 Phone
Kirkwood, MO 63122

OWNER OF SUBJECT PROPERTY:

City of Valparaiso 166 Lincoln Hwy 219-422-1161 x3331
 Name (Please Print) Address Valparaiso, IN Phone

ADDRESS OF SUBJECT PROPERTY: 2902 (TBD) N. Campbell Street
 Subject property fronts on the west side between (streets) N. Campbell + Vale Park Rd
 in the SR Zoning District.

FILED

NOV 26 2019

STAFF USE ONLY

Date Received _____

- ____ Names and Addresses of property owners within 300 feet provided
- ____ Signature notarized
- ____ Site Plan attached
- ____ Legal Description (Not Abbreviated) Provided
- ____ Petition Filed Complete
- ____ Written Description of Project
- ____ Petitioners Affidavit of Notice
- ____ Findings of Fact
- ____ Photo's of Property (Staff Request)
- ____ Landscape Plan (Staff Request)

Date approved for Public Hearing _____

Sharon Brown
Clerk-Treasurer

BZA Application Fees

____ Use Variance	\$200
____ Single Family Development Standards Variance	\$50
____ Commercial Development Standards Variance	\$150
____ Special Exception/Special Use	\$200
____ Relief to an Administrative Decision	\$200
____ Special Meeting	\$1000
____ Conditional Use	\$100
☒ Wireless Communications Facility Special Use – Major	<u>\$500</u>
____ Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

TOTAL FEE _____

Legal Description of Subject Property: (Exhibit No.)

See Attach document - Labeled Legal description

DESCRIPTION OF PROPOSED PROJECT INCLUDING, NEW CONSTRUCTION, ADDITION, ALTERATION, OR CHANGE OF USE: (Exhibit No.)

Installation of Antennas, appliance & coaxial cable
& mounts installed on a new 120' Monopine Tower

- ✓ Section (3) of the Zoning Ordinance from which a Variance, Special Exception, or Administrative Relief is sought:

Article: Section: Paragraph: Item:
: : : :
: : : :

- ✓ Attach a Site Plot Plan drawn to scale showing:

- scale
- lot: shape, location, dimension, and area
- existing improvements on the lot (including, structures, sidewalks, & driveways) and the percent coverage of improvements on the lot
- distance for lot lines, right-of-way lines, or easements to any structure for: front, back and side yards

(Construction Drawing Attached)

Please fill in:

✓ Front Setback Rear Setback Side Setbacks / Lot Coverage
Height See Drawings

The powers and duties of the Board of Zoning Appeals are provided for and limited by Enabling Acts in Indiana Code 36-7-4-900 et. seq.. The public hearing procedures are similar to a courtroom hearing. Although it is not required that the Petitioner represented by legal counsel, information and documentation pertaining to the petitioner should be prepared as if it were to become part of a court hearing. **Although the office of the City Planner is available to assist the Petitioner, it is the Petitioner's responsibility to request and prepare the appropriate variance petition.** The Planning Department can be contacted Monday-Friday between 8:30 – 4:30 at (219) 462-1161.

Petitions will not be scheduled for public hearing unless all legal and procedural requirements have been met.

Staff Report

If required, Staff will complete a staff report, recommendation to be presented at the Board of Zoning Appeals meeting. The Petitioner may request a copy of any report, recommendation from the Planning Director.

Public Hearing

The Petitioner or his/her representative must attend the BZA meeting to present the project and answer questions. The Board of Zoning Appeals meets on the third Tuesday of each month at 7 p.m. at City Hall. The Petitioner will not be notified or reminded of the meeting. Meeting dates are presented below for your reference.

Deadline

December 20th, 2018
January 25th, 2019
February 22nd
March 22nd
April 26th
May 24th
June 21st
July 26th
August 23rd
September 20th
October 25th
November 22nd ✓
December 20th, 2019

BZA Meeting Date

January 15th, 2019
February 19th
March 19th
April 16th
May 21st
June 18th
July 16th
August 20th
September 17th
October 15th
November 19th
December 17th ✓
January 21st, 2020

BZA Application Fees

Use Variance	\$200
Single Family Development Standards Variance	\$50
Commercial Development Standards Variance	\$150
Special Exception/Special Use	\$200
Relief to an Administrative Decision	\$200
Special Meeting	\$1000
Conditional Use	\$100
✓ Wireless Communications Facility Special Use – Major	<u>\$500</u>
Wireless Communications Facility RF Tech Study Fee	\$ Actual cost of study

(38) Parcels
See List

SURROUNDING PROPERTY OWNER LIST

List the name and address of all property owners who have received notification below
(Use Additional Sheets if Necessary):

(Please Print)

Name	Address
City of Valparaiso	1166 Lincolnway
Christ Lutheran	21610 Campbell Street
Flores Jesse X Jr	2803 Valparaiso
Valparaiso Trust	2809 Valparaiso
Sunnybank HOA	PO Box 24122
Cohen Hymnal Ltlis	4540 Bancroft New Orleans, LA 70122
Rowell Mark Clarence	3006 Campbell St
City of Valparaiso Parks & Rec	1158 Harrison
City of Valparaiso	3210 Valparaiso
Rohwedder Robert & Susan	3012 Campbell St
Patricia Tilly Trust	1437 Billy Ln , Munster, IN 46321
Bogner Elaine & James	3101 Campbell
Keystone Commons Prop Owners	3403 Enterprise
Thomsen Robert & III + Natalie	3005 Campbell
Verabel Kathryn + George	300 Campbell
McClure William + Kathleen	451 Whitehouse Walk
Hilub Katelyn CV	566 Lantern Walk
Ellis Matthew A	564 Lantern Walk
Farris Thomas	562 Lantern Walk
Trust 3026	558 Lantern Walk
Lemurloski, Kathleen	556 Lantern Walk
Joint Revocable Trust, Kocher, Motoskyga	554 Lantern Walk
Eric Smith	552 Lantern Walk
VSWCC Inc	450 Vale Park Rd. #A

SURROUNDING PROPERTY OWNER LIST

List the name and address of all property owners who have received notification below
(Use Additional Sheets if Necessary):

(Please Print)

Name

Address

Lanplight Square Prop. Owners 3408 Enterprise

Smith + Wilburn 554 Vale Park Rd #A

MacDonald Investment 3408 Enterprise Ave.

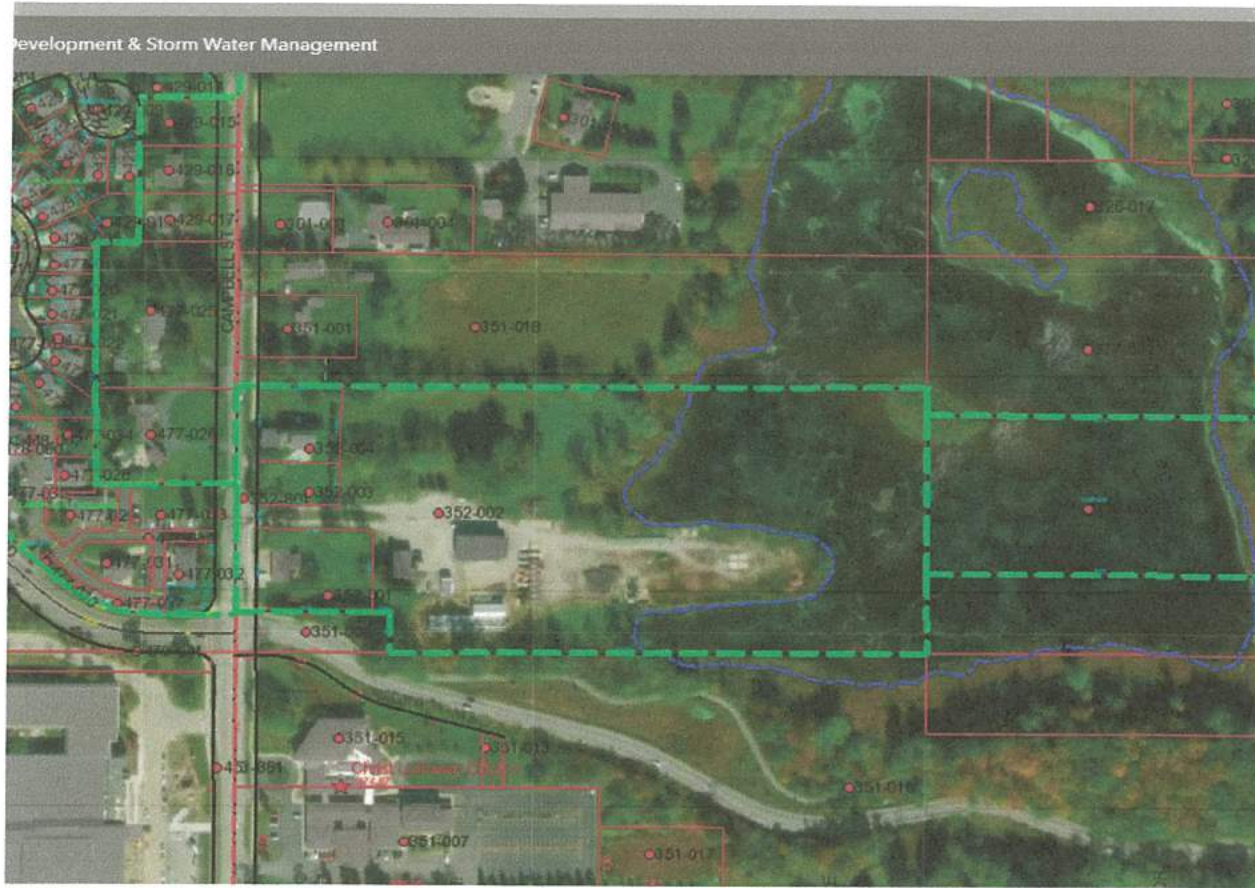
Atg. Co Inc

VJW Limited LLC 450 Vale Park Rd

Freemark Properties LLC 6801 Gray Rd

School Valpraiso Multi-Bldg. 2727 N. Campbell St.

Surrounding Property Owners List



Company Name	Name	Mailing Address	City	State	Zip	PIN#	Street
Proposed Subject Parcel	City of Valparaiso	166 Lincolnway	Valparaiso	IN	46383	64-09-12-352-002.000-004	2906 Campbell St
South of Property	City of Valparaiso	166 Lincolnway	Valparaiso	IN	46383	64-09-12-351-006.000-004	2808 Campbell St
South of Property	Christ Lutheran	2610 Campbell St	Valparaiso	IN	46383	64-09-12-351-015.000-004	2802 Campbell St
South of Property	Christ Lutheran	2610 Campbell St	Valparaiso	IN	46383	64-09-12-351-013.000-004	2802 Campbell St
South of Property	Christ Lutheran	2610 Campbell St	Valparaiso	IN	46383	64-09-12-351-007.000-004	2610 Campbell St
South of Property	Christ Lutheran	2610 Campbell St	Valparaiso	IN	46383	64-09-12-351-017.000-004	2802 Campbell St
South of Property	City of Valparaiso	166 Lincolnway	Valparaiso	IN	46383	64-09-12-351-016.000-004	2802 Campbell St
SouthEast of Property	Flores Jesse X Jr	2803 Valparaiso St	Valparaiso	IN	46383	64-09-12-378-015.000-004	2803 Valparaiso St
East of Property	Valparaiso Trust	2809 Valparaiso St	Valparaiso	IN	46383	64-09-12-378-016.000-004	2809 Valparaiso St
East of Property	Valparaiso Trust	2809 Valparaiso St	Valparaiso	IN	46383	64-09-12-378-016.000-004	2809 Valparaiso St
East of Property	Sunnybank Homeowners Association	PO Box 2422	Valparaiso	IN	46383	64-09-12-378-001.000-004	Silver Lake
East of Property	Cohen Hyman L & Lis	4540 Bancroft Dr	New Orleans	LA	70122	64-09-12-377-001.000-004	Lakeside Dr
North of Property	Powell Mark Clarence	3006 Campbell St	Valparaiso	IN	46383	64-09-12-351-018.000-004	3010 Campbell St
North of Property	Park & Recreation Department	1158 Harrison Blvd	Valparaiso	IN	46383	64-09-12-301-006.000-004	3200 Campbell St
North of Property	City Of Valparaiso	3210 Campbell St	Valparaiso	IN	46383	64-09-12-301-005.000-004	3210 Campbell St
North of Property	City Of Valparaiso	3210 Campbell St	Valparaiso	IN	46383	64-09-12-301-005.000-004	3210 Campbell St
North of Property	Rohweder Robert & Susan E/H&W	3012 Campbell St	Valparaiso	IN	46383	64-09-12-301-004.000-004	3012 Campbell St

North of Property NorthWest of Property	Hayduk Michael J Living Trust & Hayduk Patricia A Living Trust/TC	1437 Holly Ln	Munster	IN	46321	64-09-12-301-003.000-004	3100 Campbell St
	Bogner Elaine & James P/W&H Keystone Commons Prop Owners Assoc Inc	3101 Campbell St	Valparaiso	IN	46383	64-09-11-429-017.000-004	3101 Campbell St
NorthWest of Property	%1ST American Mgt	3408 Enterprise Ave	Valparaiso	IN	46383	64-09-11-429-013.000-004	Lantern Walk
NorthWest of Property	Thorgren Robert G III & Natalie/H&W	3005 Campbell St	Valparaiso	IN	46383	64-09-11-477-025.000-004	3005 Campbell St
NorthWest of Property	Vrabel Kathryn A & George S/H&W	3001 Campbell St	Valparaiso	IN	46383	64-09-11-477-026.000-004	3001 Campbell St
NorthWest of Property	McClure William J & Kathleen/H&W	451 Gatehouse Walk	Valparaiso	IN	46383	64-09-11-429-011.000-004	451 Gatehouse Walk
NorthWest of Property	Holub Katelyn CV	566 Lantern Walk	Valparaiso	IN	46383	64-09-11-429-005.000-004	566 Lantern Walk
NorthWest of Property	Ellis Matthew A Farris Thomas A & Linda L/H&W	564 Lantern Walk	Valparaiso	IN	46383	64-09-11-429-006.000-004	564 Lantern Walk
West of Property	Hurdie Neil F & Judithdiana/H&W	562 Lantern Walk	Valparaiso	IN	46383	64-09-11-477-019.000-004	562 Lantern Walk
West of Property	Trust 3026 Levandoski	560 Lantern Walk	Valparaiso	IN	46383	64-09-11-477-020.000-004	560 Lantern Walk
West of Property	Kathleen R Koch Kenneth & Olga Joint Revocable Trust	558 Lantern Walk	Valparaiso	IN	46383	64-09-11-477-021.000-004	558 Lantern Walk
West of Property		556 Lantern Walk	Valparaiso	IN	46383	64-09-11-477-022.000-004	556 Lantern Walk
West of Property		554 Lantern Walk	Valparaiso	IN	46383	64-09-11-477-023.000-004	554 Lantern Walk
West of Property	Smith Eric G	552 Lantern Walk	Valparaiso	IN	46383	64-09-11-477-024.000-004	552 Lantern Walk
West of Property	VJWCC Inc Lamplight Square Property Owners Association Inc	450 Vale Park Rd Ste A	Valparaiso	IN	46383	64-09-11-477-034.000-004	Vale Park Rd
West of Property		3408 Enterprise Ave	Valparaiso	IN	46383	64-09-11-477-035.000-004	Lamplight Sq
West of Property		554 Vale Park Rd Ste A	Valparaiso	IN	46383	64-09-11-477-028.000-004	554 Vale Park Rd
West of Property	Smith And Wilburn MacDonald Investments Llc %1ST Amer Mgt Co Inc	3408 Enterprise Ave	Valparaiso	IN	46383	64-09-11-477-029.000-004	552 Vale Park Rd
West of Property		450 Vale Park Rd Ste A	Valparaiso	IN	46383	64-09-11-477-033.000-004	Vale Park Rd
West of Property	VJW Limited LLC Freemark Properties LLC Christopher Whitten	6801 Gray Rd Ste H 2727 N Campbell St	Indianapolis	IN	46237	64-09-11-477-032.000-004	450 Vale Park Rd
West of Property	School Valparaiso Multi-Bldg Corp % Glenn J Tabor	In Fed Bldg Ste 401 2727 N Campbell St	Valparaiso	IN	46383	64-09-11-453-019.000-004	2727 N Campbell St
West of Property	School Valparaiso Multi-Bldg Corp % Glenn J Tabor	In Fed Bldg Ste 401 2727 N Campbell St	Valparaiso	IN	46383	64-09-11-453-024.000-004	2727 N Campbell St
West of Property	School Valparaiso Multi-Bldg Corp % Glenn J Tabor	In Fed Bldg Ste 401	Valparaiso	IN	46383	64-09-11-453-025.000-004	2727 N Campbell St

**VALPO HS – Legal Description of Proposed Area for the Developer
(small area to be utilized for construction of monopine)**

Site Address: 2902 (TBD) N. Campbell St., | DRA IN-1002 Valpo HS

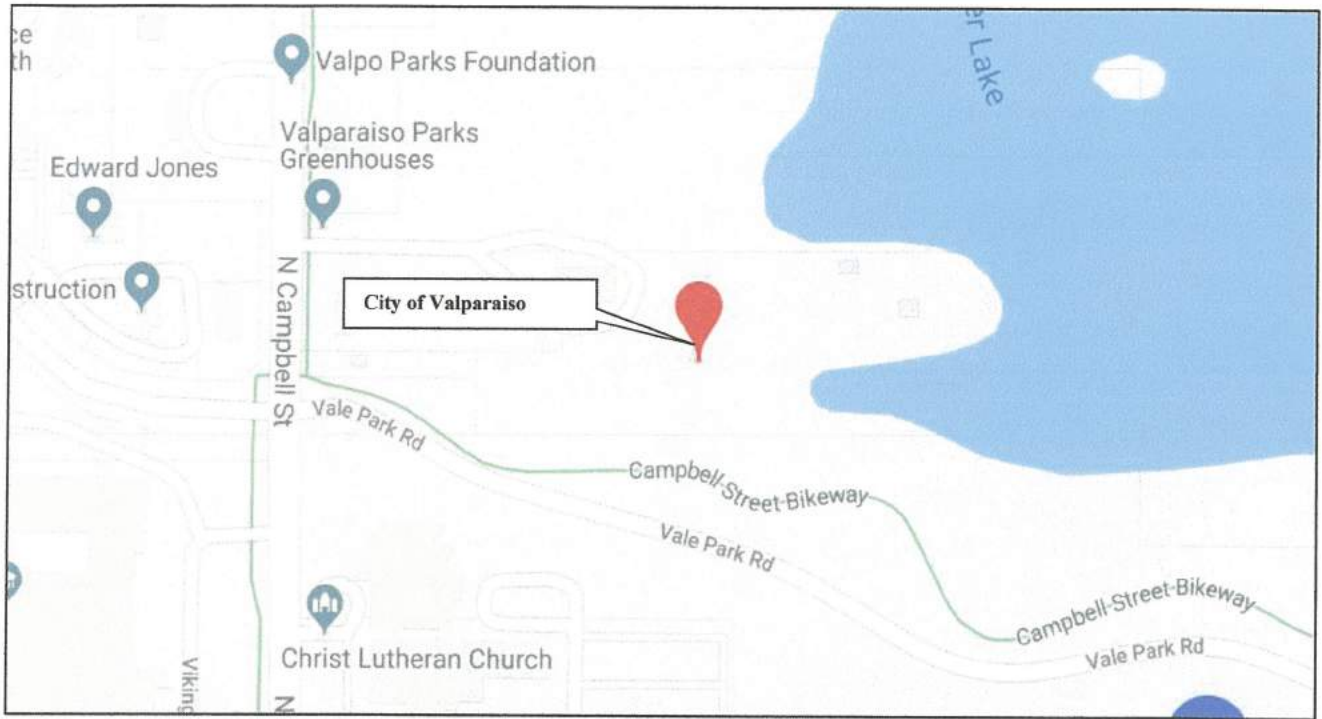
ALL THAT PARCEL OF LAND IN THE CITY OF VALPARAISO IN THE COUNTY OF PORTER AND STATE OF INDIANA AS MORE FULLY DESCRIBED IN DEED INSTRUMENT NUMBER 2017-003211 INSTRUMENT NUMBER 2017-003210 AND PARCEL # 64-09-12-352-002.000-004, BEING KNOWN AND DESIGNATED AS: LOT "D", CLIFFORD ADDITION TO VALPARAISO, AS PER PLAT THEREOF, RECORDED IN PLAT FILE 54-F-3 IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

PARCEL NUMBER: 64-09-12-352-002.000-004

BEING THE SAME PROPERTY ACQUIRED BY CITY OF VALPARAISO, BY AND THROUGH ITS BOARD OF PUBLIC WORKS AND SAFETY BY DEED OF JOSEPH M. CLIFFORD AND THEODORA G. CLIFFORD, AS TRUSTEES, UNDER THE J.M. AND T.G CLIFFORD LIVING TRUST DATED DECEMBER 18, 1996, DATED 12/22/2016 AND RECORDED 02/03/2017 IN INSTRUMENT NUMBER: 2017-003211

BEING THE SAME PROPERTY ACQUIRED BY CITY OF VALPARAISO, BY AND THROUGH ITS BOARD OF PUBLIC WORKS AND SAFETY BY DEED OF JOSEPH M. CLIFFORD AND THEODORA G. CLIFFORD, DATED 12/22/2016 AND RECORDED 02/03/2017 IN INSTRUMENT NUMBER: 2017-00321

STREET MAP



AERIAL MAP



DRA Properties, LLC
Maintenance Agreement, LLC

November 15, 2019

DRA Site Name: DRA IN-1002
Address: 2902 N. Campbell, Street, Valparaiso, IN 46383
Carrier Name: Verizon Wireless
Customer Site Name: Valpo HS

DRA Properties, LLC agrees to keep the mono-pine cell tower in good condition and well-maintained. If the branches become bare due to weather and time, DRA Properties, LLC shall replace the branches to maintain the concealment properties of the mono-pine. This maintenance agreement shall be assigned to any future owner of this structure.

DRA Properties, LLC

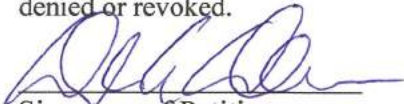
A handwritten signature in blue ink, appearing to read 'Douglas K Dolan', is written over a horizontal line.

Douglas K Dolan, Authorized Member

Certificate of Petitioner

Please read and sign the following statement:

I, the Petitioner (and Property Owner, if separate), understand that I and/or my representative must be present at the public hearing. Should I fail to appear, the BZA, in my absence, may consider and take action on my Petition. If the Petitioner is not the owner of the property that is the basis of this Petition, the signature of the Property Owner(s) constitutes authorization for the Petitioner to speak and act on behalf of the Property Owner(s). The Petitioner certifies that neither the Petitioner nor any attachments or exhibits submitted contains any known intentional misrepresentations or intentionally misleading statements. All information submitted is accurate, true and correct to the best of the Petitioner's knowledge. The providing of false and/or inaccurate information on this Petition or during any proceedings before the BZA may result in the denial of the request or the revocation of the request, should a Petition be granted. Similarly, if as part of any granted Petition, the BZA places any restrictions and/or limitations, I acknowledge that my failure to comply with such restrictions/limitations shall be grounds to revoke any granted Petition. The Petitioner acknowledges that it bears the obligation to mail notice of any Public Hearing to all property owners within 300 feet of the property that is the subject of this Petition. Any errors by the Petitioner may result in the Petition being delayed, denied or revoked.

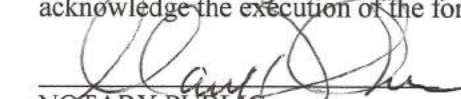

Signature of Petitioner

Douglas K. Dolan
Printed Name

Signature of Property Owner

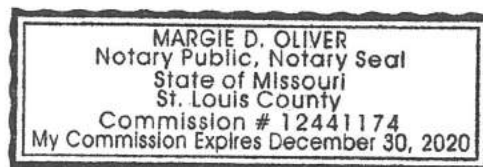
Signature of Property Owner

Subscribed and sworn to before me, a Notary in and for said County and State, personally appeared: Douglas K. Dolan, and acknowledge the execution of the foregoing document, this 20 day of November 1919.


NOTARY PUBLIC

My Commission Expires: _____
Resident of St. Louis County

MARGIE D. OLIVER
Type or Print name of Notary



Petitioner

Petitioner

Affidavit of Proper Public Notice for Public Hearing

(To be presented to Board of Zoning Appeals staff or attorney at Public Hearing)

Doug Dolan, being dully sworn upon his oath, being of sound mind and legal age deposes and states:

1. That he is the Agent (agent, attorney, owner) of the property described in the attached notice which an application for a variance has been filed before the Board of Zoning Appeals of the City of Valparaiso, Indiana
2. That on the 26 day of November, 2019, did mail at least ten 10 (10) days prior to the scheduled Public Hearing postage paid, by certified mail, return receipt requested, a letter explaining the proposed change, time, date and place of hearing and attached hereto, to all of the property owners within three hundred (300) feet from the lot lines of described real estate, as follows.

(Please attach legal description)

List the name the address of all property owners who have received notification on page 10.

[Signature]
Petitioner

11/20/19
Date

Subscribed and sworn to before me this 20 day of November, 2019.

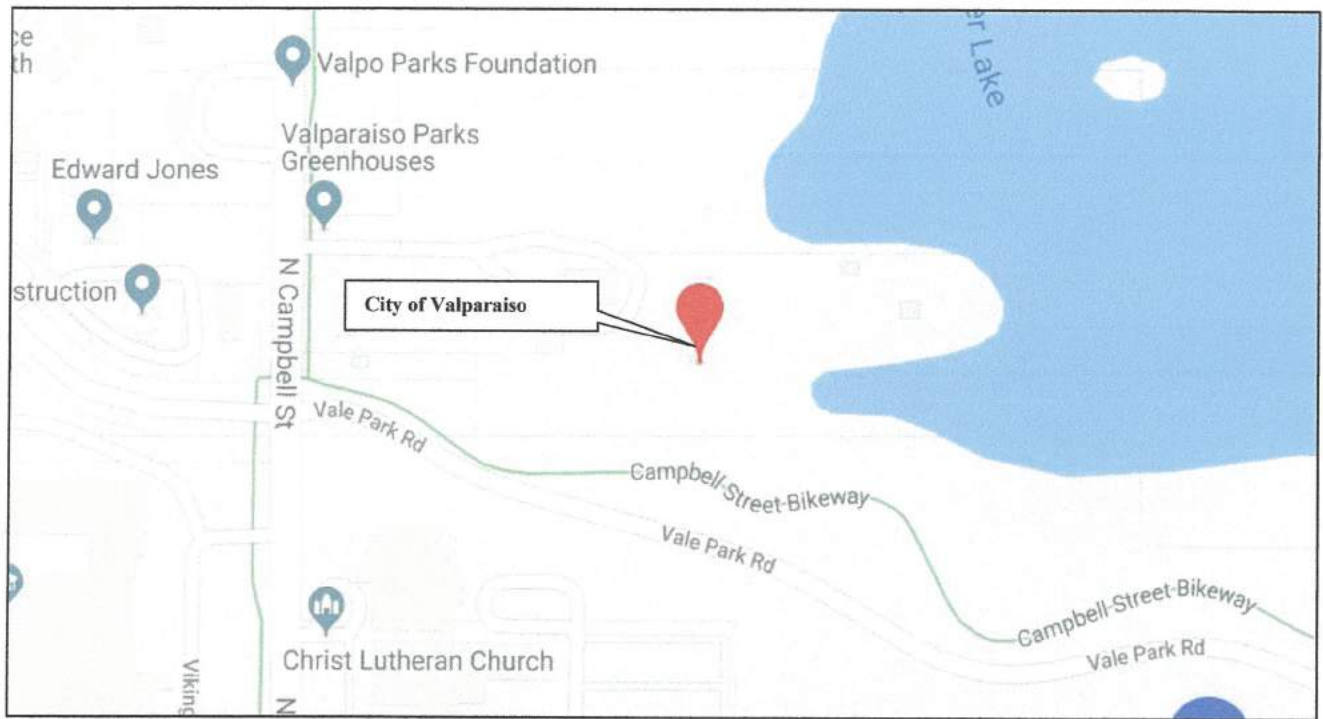
[Signature]
Notary Public

My Commission Expires

12/30/2020
Date



STREET MAP



AERIAL MAP



VALPO_HS



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

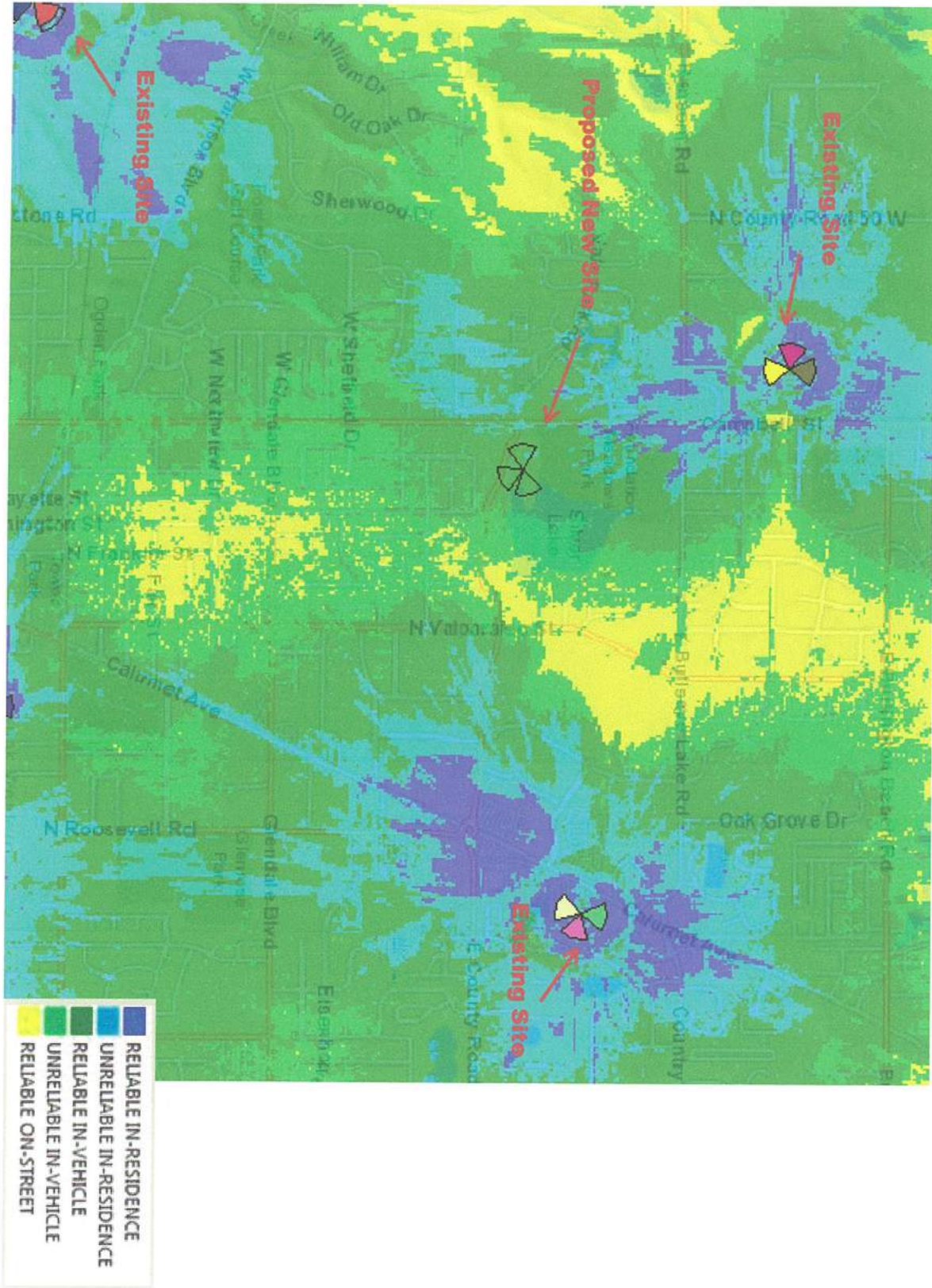
VALPO_HS is a capacity-offload solution that is designed to relieve some of the network traffic at the existing sites, and at the same time providing additional 4G coverage in the area.

The proposed site also targets to serve the volume of network traffic coming from Valparaiso High School.

Aerial Vicinity Map

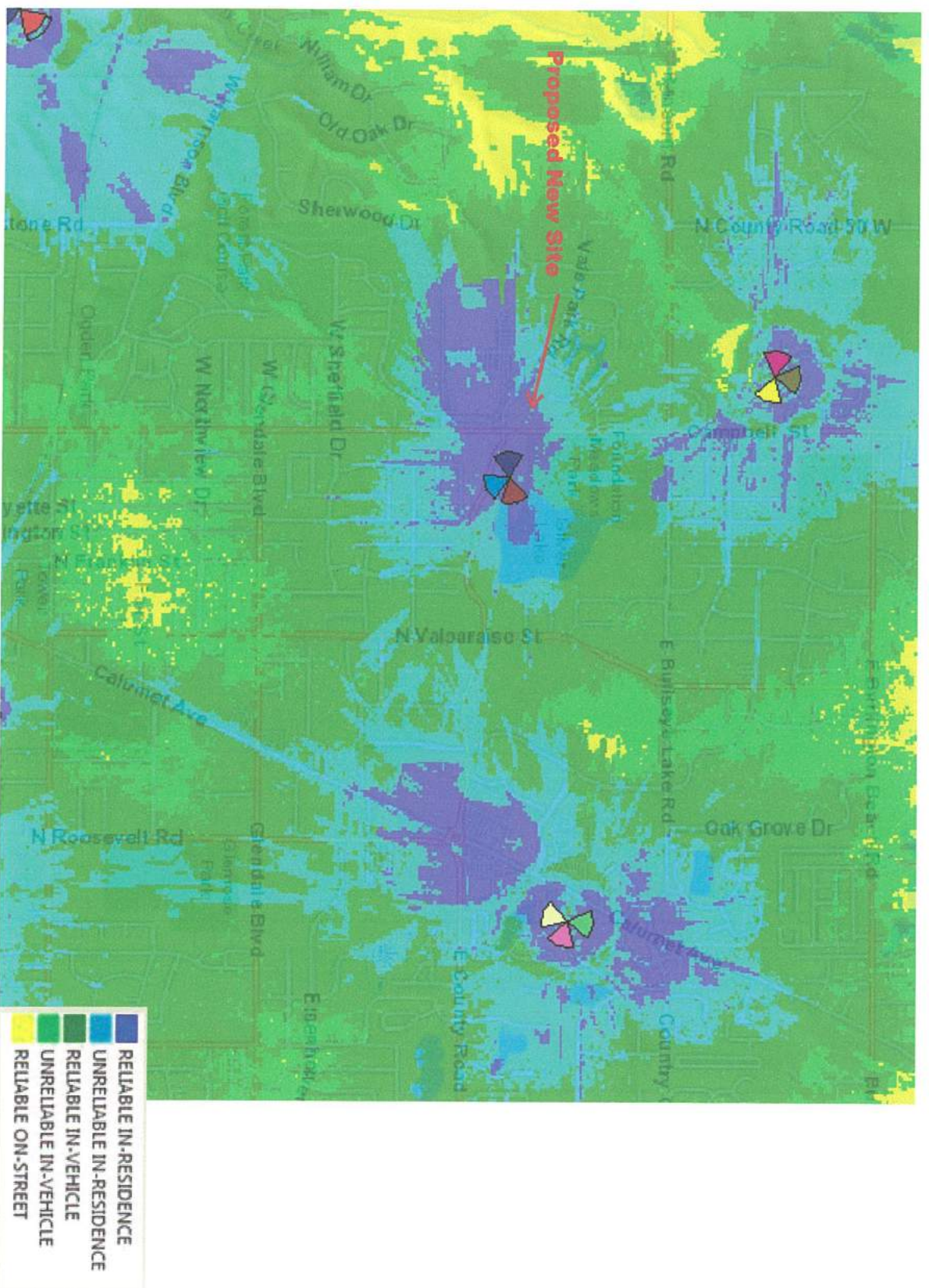


Current Coverage



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

With Proposed Site



Thank you.



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

CELLCO PARTNERSHIP d/b/a

verizon

DOLAN
REALTY ADVISORS, LLC

VALPO HS CELL SITE

LOCATION NO. 495867
PROJECT NO. 20181809187

N CAMPBELL STREET
VALPARAISO, IN 46383
PORTER COUNTY

120' MONOPINE TOWER
WITH COMMUNICATIONS EQUIPMENT

DOLAN
REALTY ADVISORS, LLC



MISSION 1
COMMUNICATIONS

6202 Constitution Drive, Suite C
Fort Wayne, IN 46804

CERTIFICATION:

**PRELIMINARY
NOT FOR
CONSTRUCTION**

RELEASE

DATE	
05-31-19	PRELIMINARY LEASE EXHIBIT
07-11-19	LEASE EXHIBIT
09-19-19	90% CD'S
10-18-19	ZONING CD'S

THIS DRAWING IS COPYRIGHTED AND IS THE SOLE PROPERTY OF THE OWNER. IT IS PRODUCED SOLELY FOR USE BY THE OWNER AND ITS AFFILIATES. REPRODUCTION OR USE OF THIS DRAWING AND/OR THE INFORMATION CONTAINED IN IT IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE OWNER.

DRAWN BY: ZDE
CHECKED BY: MJA

SITE NAME:

**VALPO HS
CELL SITE**

SITE ADDRESS:

N CAMPBELL STREET
VALPARAISO, IN 46383

SHEET TITLE:

PROJECT INFORMATION,
LOCATION MAPS,
AND DRAWING INDEX

A&E PROJECT NO.:

SHEET NO.:



Know what's below.
Call before you dig.

1-800-382-5544
CALL TOLL FREE
1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA

APPLICANT
DOLAN REALTY ADVISORS, LLC
DOUG DOLAN
343 S. KIRKWOOD ROAD #5
BOX# 220130
KIRKWOOD, MO 63122
PH: (314) 963-7700

SITE ACQUISITION

DOLAN REALTY ADVISORS, LLC
DOUG DOLAN
144 W. LOCKWOOD AVE., SUITE 200
WEBSTER GROVES, MO 63119
PH: (314) 963-7700

SURVEYOR

WILLIAMS & WORKS
BILL MCCLURE
549 OTTAWA AVE NW
GRAND RAPIDS, MI 49503
PH: (616) 224-1500
EMAIL:
MCCLURE@WILLIAMS-WORKS.COM

ARCHITECTURAL AND ENGINEERING

MISSION 1 COMMUNICATIONS
MARK ALLEN
6202 CONSTITUTION DRIVE, SUITE C
FORT WAYNE, IN 46804
PH: (260) 436-3922
EMAIL: M.ALLEN@M1COMM.COM

UTILITIES - ELECTRIC

NIPSCO
ASHLEY MADSEN
(219) 207-1230
RICH OSTERTAG
(219) 384-3382

UTILITIES - TELEPHONE

TBA
FIBER PROVIDER NOT SELECTED
AT THE TIME OF RELEASE

POLICE DEPARTMENT

VALPARAISO POLICE DEPT
355 S WASHINGTON ST,
VALPARAISO, IN 46383
PH: (219) 462-0717

FIRE DEPARTMENT

VALPARAISO FIRE DEPARTMENT
STATION 2
2605 CUMBERLAND DR,
VALPARAISO, IN, 46383



VICINITY MAP

MAP PROVIDED BY DeLORME STREET ATLAS USA



LOCATION MAP

AERIAL MAP PROVIDED BY GOOGLE EARTH

DRAWING INDEX

TOWER DEVELOPMENT OWNER CONSTRUCTION SECTION

T-1 PROJECT INFORMATION, LOCATION MAPS, AND
DRAWING INDEX

1 OF 2 SITE SURVEY
2 OF 2 SITE SURVEY

C-1 SITE LOCATION PLAN
C-2 DEVELOPED SITE PLAN
C-3 ENLARGED SITE PLAN
C-4 TYPICAL FENCE DETAILS

A-1 TOWER ELEVATION

E-1 UTILITY SITE PLAN, AND NOTES

CONSULTANT TEAM

PROJECT DESCRIPTION

INSTALLATION OF PANEL ANTENNA, ASSOCIATED APPLIANCES, COAXIAL CABLE AND MOUNTS ON A NEW 120' MONOPINE TOWER.

INSTALLATION OF A 9'-4"x8'-0" UNMANNED EQUIPMENT PAD ON CONCRETE FOUNDATION. INSTALLATION OF 30KW GENERATOR ON EQUIPMENT CONCRETE FOUNDATION.

NEW TELEPHONE (FIBER) SERVICE TO SITE AND EQUIPMENT SKID. NO WATER SUPPLY OR SEWAGE TO/FROM THE SITE.

SITE COORDINATES AND ELEVATION

LATITUDE - N 41° 29' 41.00"
LONGITUDE - W 87° 03' 48.65"
GRD ELEV. - ±831' AMSL

PROJECT DESCRIPTION



DIRECTIONS TO SITE

FIBER COORDINATION IS NOT COMPLETE
(PENDING FIBER CONTACT). PRIOR TO
CONSTRUCTION, CONTACT DESIGNER
FOR UPDATE.

T-1

SURVEYOR'S NOTE

THE PARENT PARCEL BOUNDARY OF THIS DRAWING IS ILLUSTRATED FROM RECORD INFORMATION AND IS APPROXIMATE.

THE TOPOGRAPHICAL SURVEY FOR THIS MAP WAS PERFORMED ON AUGUST 06, 2019.

NOT TO BE USED AS CONSTRUCTION DRAWINGS.

UNDERGROUND UTILITY MARKING WAS REQUESTED OF THE INDIANA 811 SYSTEM AS TICKET NO. 1908013634, DATED 08/01/19

BASIS OF BEARINGS

LATITUDE AND LONGITUDE OF SITE REFERENCE POINT ARE BASED ON THE HARN (HIGH ACCURACY REFERENCE NETWORK) NAD83 (CORS 96)

BEARINGS ARE BASED ON INDIANA STATE PLANE, IN WEST 1302/ TO ORIENT DRAWING TO TRUE NORTH, ROTATE CLOCKWISE 00°00'46.46".

ZONING DATA

ACCORDING TO THE SITE CANDIDATE INFORMATION PACKAGE THIS SITE IS ZONED:

SETBACKS:

FRONT: ?

REAR: ?

SIDE: ?

ZONING NOT PROVIDED

FLOOD PLAIN INFORMATION

WE HAVE CONSULTED THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE MAP AS PREPARED FOR THE CITY OF VALPARAISO, PORTER COUNTY, INDIANA, COMMUNITY PANEL NUMBER 18127C0202D DATED SEPTEMBER 30, 2015, AND FIND THAT THE PROJECT SITE IS ZONED X (UNSHADED)(AREA OF MINIMAL FLOOD HAZARD).

ELEVATION DATUM

ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM.

CONTOURS ARE ILLUSTRATED AT 1.0' INTERVALS.

BM#1) ELEV. 835.25'

DESCRIPTION: X-CUT ON SOUTHEAST BOLT OF BASE OF LIGHT POLE EAST OF NORTHERLY PARKING LOT

PROPRIETOR

CITY OF VALPARAISO
166 LINCOLNWAY
VALPARAISO, IN 46383

EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS

THE TITLE SEARCH ISSUED BY ? AS FILE NO. ?, DATED ? ?, ? LISTS THE FOLLOWING EASEMENTS, COVENANTS, CONDITIONS, AND RESTRICTIONS, THAT ARE MATTERS OF SURVEY, AFFECTING THE PARENT PARCEL UNDER "????????????????":

NO TITLEWORK PROVIDED

SITE #
VALPO HS CELL SITE

LEGAL DESCRIPTION

PARENT PARCEL (AS PROVIDED)
"LOT D", CLIFFORD ADDITION TO VALPARAISO, AS PER PLAT THEREOF, RECORDED IN PLAT FILE 54-F-3 IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

This map was made from the above legal description which was given to us as a complete description of the property. Both map and description should be compared with the Abstract of Title or Title Policy for any exceptions, easements or differences in description.

LEGAL DESCRIPTION

PROPOSED LEASE AREA

LEGAL DESCRIPTION

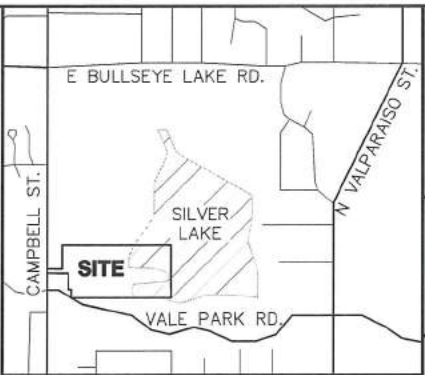
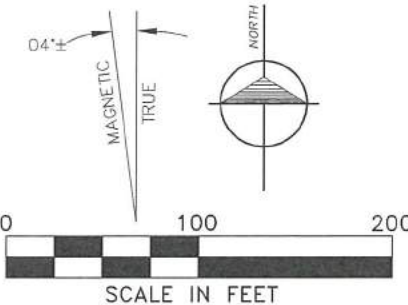
PROPOSED 20.00' WIDE NON-EXCLUSIVE ACCESS & UTILITY EASEMENT

LEGAL DESCRIPTION

PROPOSED NON-EXCLUSIVE UTILITY EASEMENT

LEGAL DESCRIPTION

PROPOSED NON-EXCLUSIVE UTILITY EASEMENT



VICINITY MAP

N.T.S.

LEGEND

- △ - TRAVERSE POINT
- ▲ - WELL
- ⬢ - HIGHWAY
- ⊙ - MONUMENT
- ⊠ - MONUMENT BOX
- - RIGHT OF WAY MARKER
- - SET WOODSTAKE
- +CUT - XCUT
- ⊙PK - PK NAIL
- - FOUND IRON STAKE
- ⊕ - SET IRON STAKE
- - SIGN
- RR - RR SIGN
- - GUY POLE
- - GUY ANCHOR
- - UTILITY POLE
- - LIGHT POLE
- - ORNAMENTAL LIGHT POLE
- - POST
- ⊕ - U.G. UTILITY MARKER
- XX - SOIL BORING
- MB - MAILBOX
- - SATELLITE DISH
- - HAND HOLE
- AC - AC UNIT
- - U.G. UTILITY MARKER
- - FIRE HYDRANT
- PIV - POST INDICATOR VALVE
- ⊕ - WATER VALVE
- ⊕ - GAS VALVE
- ⊕ - UST FILL PORT
- ⊕ - GAS PUMP
- ⊕ - GAS METER
- W - WATER METER
- - TELEPHONE RISER
- - ELECTRIC METER
- - CABLE TV RISER
- - CATCH BASIN
- - ROUND CATCH BASIN
- - UTILITY MANHOLE
- - STORM MANHOLE
- - SANITARY MANHOLE
- - ELECTRIC MANHOLE
- - TELEPHONE MANHOLE
- - WATER MANHOLE
- - HANDICAP PARKING SPACE
- - SHRUB
- - TREE
- - PINE TREE
- - EXISTING CONTOURS
- - TELEPHONE UTILITY LINE
- - ELECTRIC UTILITY LINE
- - WATER UTILITY LINE
- - GAS UTILITY LINE
- - STEAM UTILITY LINE
- - STORM UTILITY LINE
- - SANITARY UTILITY LINE
- - FIBER OPTIC UTILITY LINE
- - OVERHEAD UTILITY LINE
- - FENCE LINE
- - GUARD RAIL
- - CONCRETE

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PRELIMINARY

Lawrence W. Albaugh
Indiana Registered Land Surveyor No. 80910002
Expires July 31, 2018

DATE: 08/05/19	DWG. BY: E.C.V.
SCALE: 1"=100'	SURVEYED: C.Z./K.M.
UPDATE: WBM103019	CHKD BY: L.W.A.
PROJECT NO.: 219133.001	



SITE #
VALPO HS
CELL SITE

Survey Prepared for:
Mission 1 Communications
6355 Constitution Drive
Suite A
Fort Wayne, IN
(260) 436-3922
Project Manager: Mark J. Allen

NO.	DESCRIPTION	DATE
1	REVISED TOWER, LEASE AREA AND EASEMENTS	10/30/19

williams&works
engineers | surveyors | planners
616.224.1500 phone
549 Ottawa Ave NW
Grand Rapids, MI 49503
http://williams-works.com

SITE NAME

VALPO HS CELL SITE

SITE NUMBER

SITE NUMBER

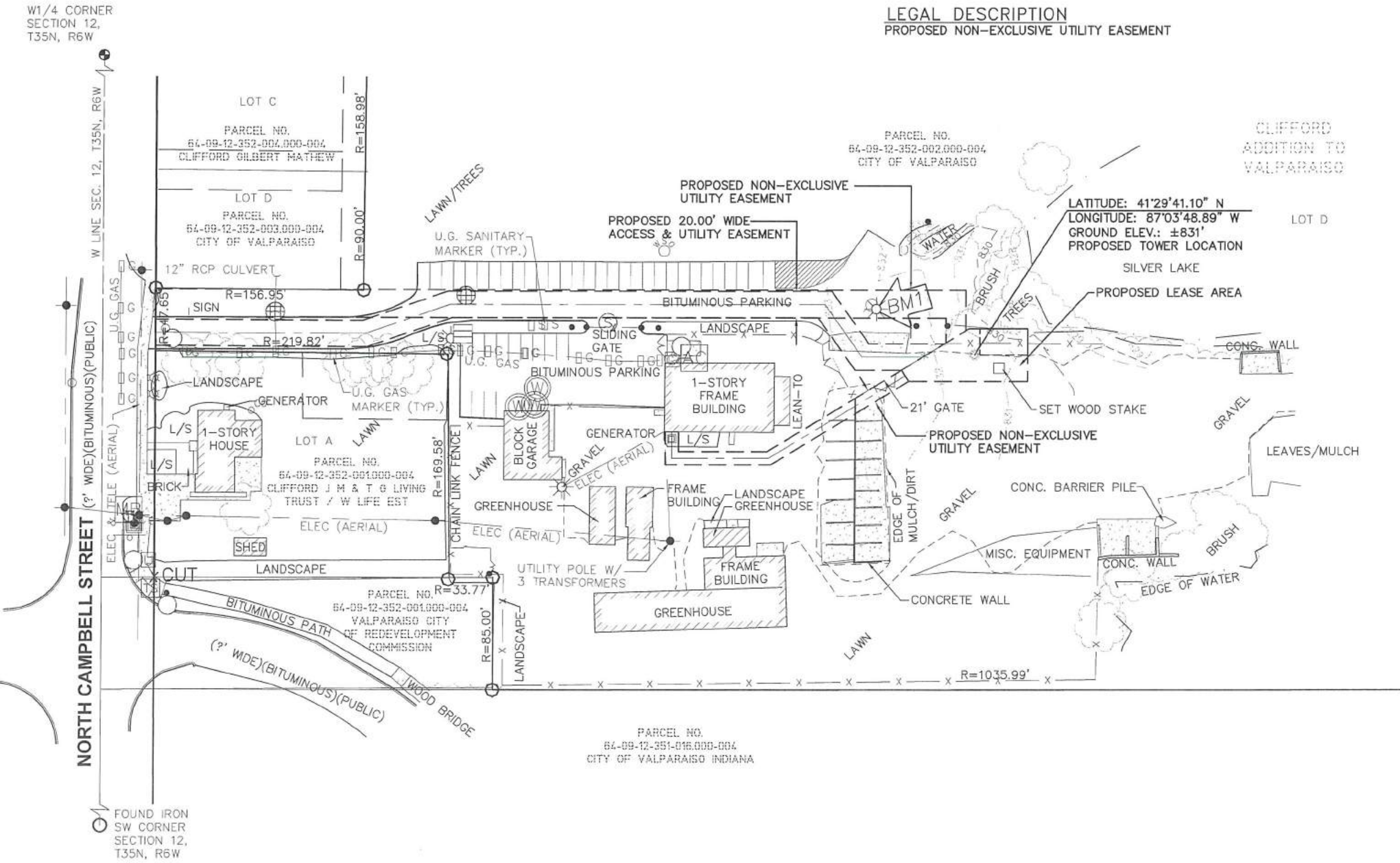
SITE ADDRESS

2906 N CAMPBELL ST.
VALPARAISO, IN
46385

SHEET TITLE

S1

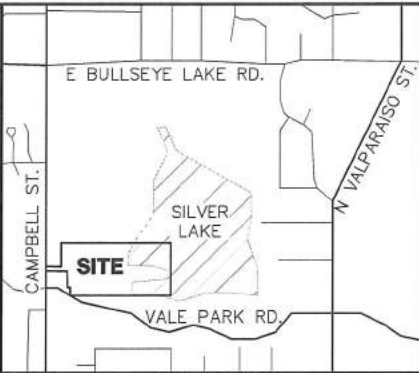
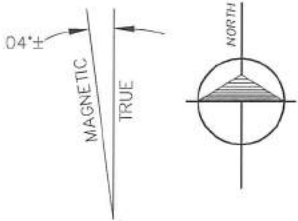
SHEET 1 OF 2



SURVEYOR'S NOTE

THE PARENT PARCEL BOUNDARY OF THIS DRAWING IS ILLUSTRATED FROM RECORD INFORMATION AND IS APPROXIMATE.
THE TOPOGRAPHICAL SURVEY FOR THIS MAP WAS PERFORMED ON AUGUST 06, 2019.
NOT TO BE USED AS CONSTRUCTION DRAWINGS.

SITE #
VALPO HS CELL SITE



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SURVEYED BY: _____

SITE NAME
VALPO HS CELL SITE

SITE NUMBER

SITE NUMBER

SITE ADDRESS
**2906 N CAMPBELL ST.
VALPARAISO, IN
46385**

SHEET TITLE
S2

SHEET 2 OF 2

LEGEND

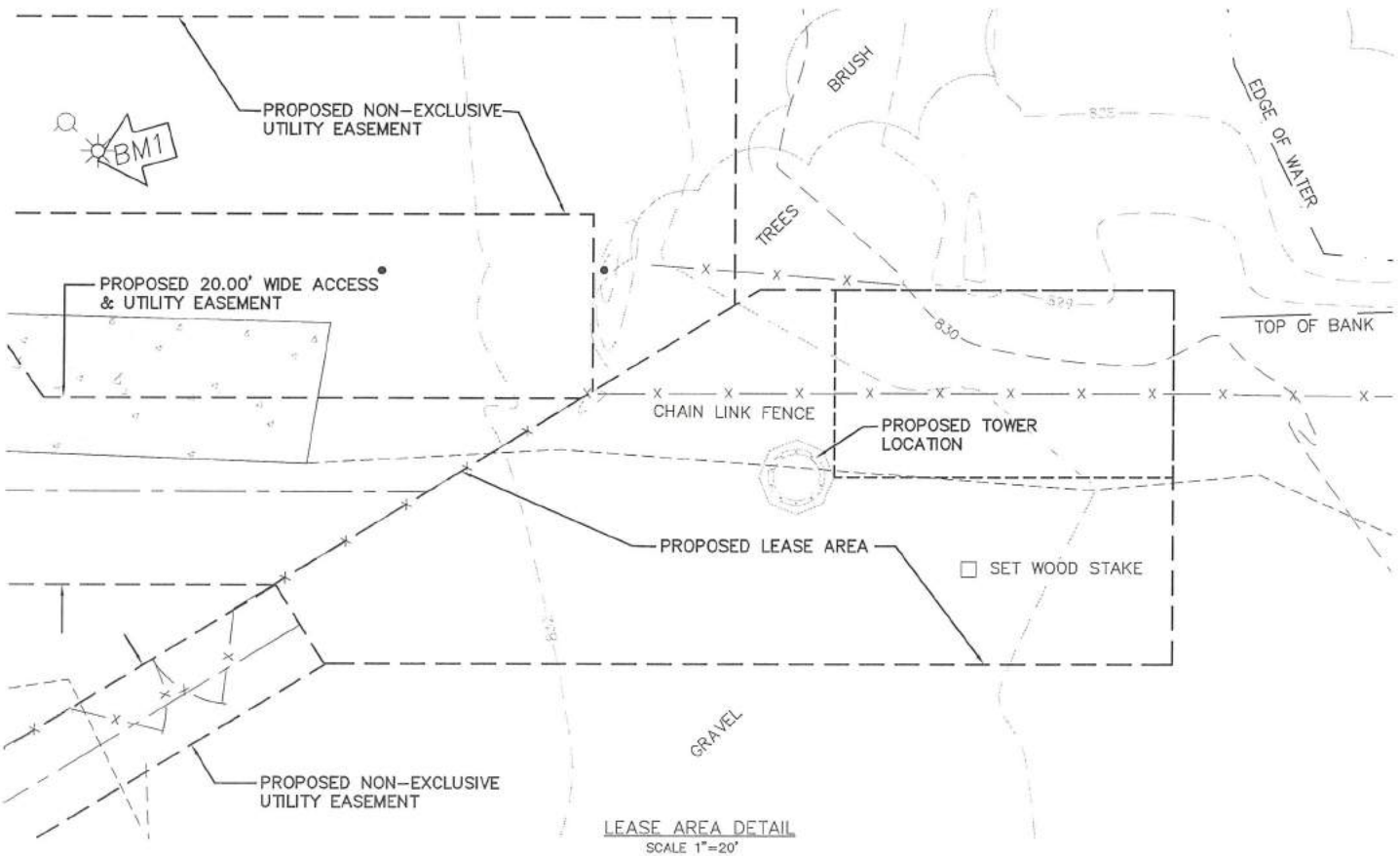
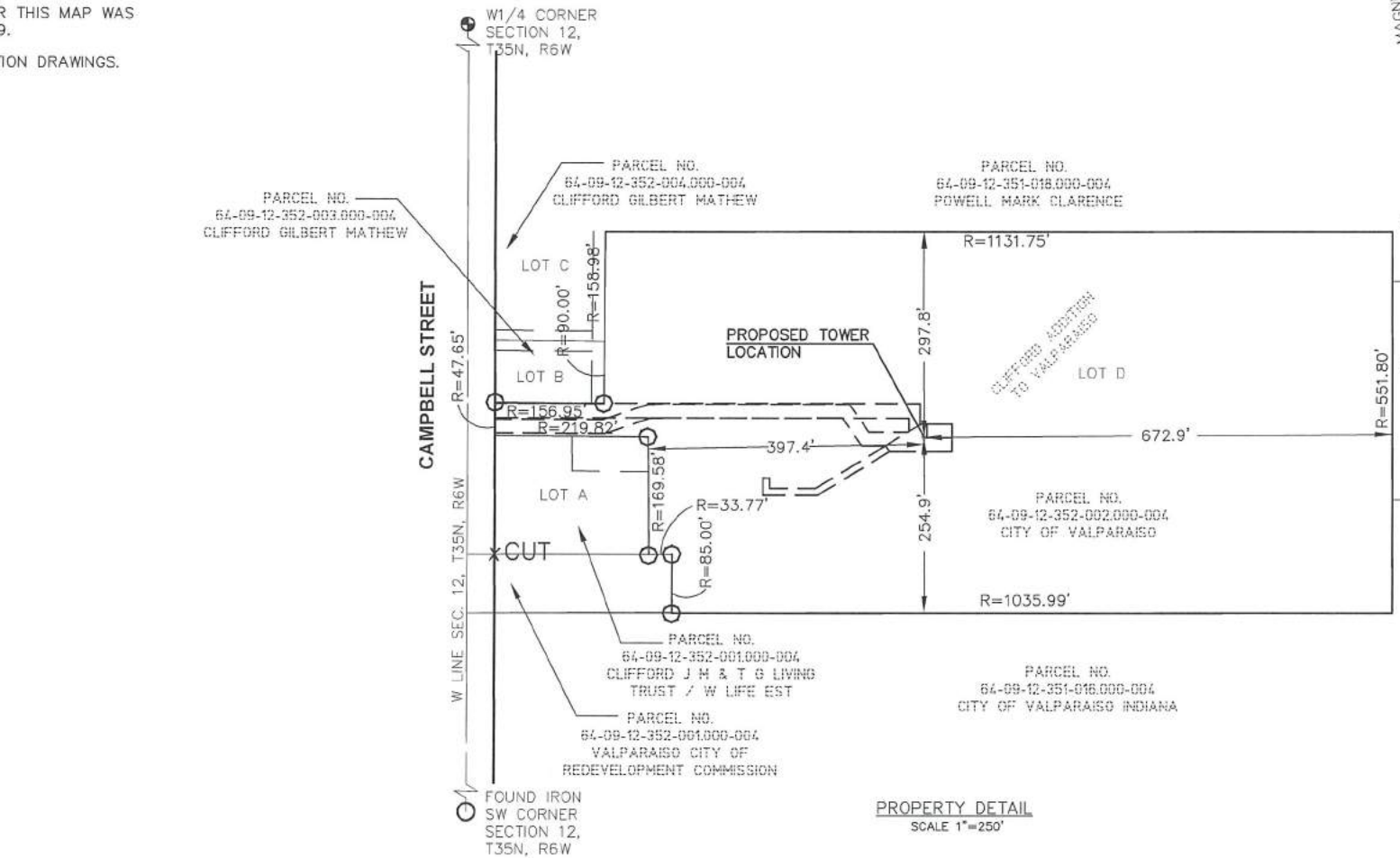
- △ - TRAVERSE POINT
- ▲ - WELL
- - HIGHWAY
- ⊙ - MONUMENT
- ⊞ - MONUMENT BOX
- - RIGHT OF WAY MARKER
- - SET WOODSTAKE
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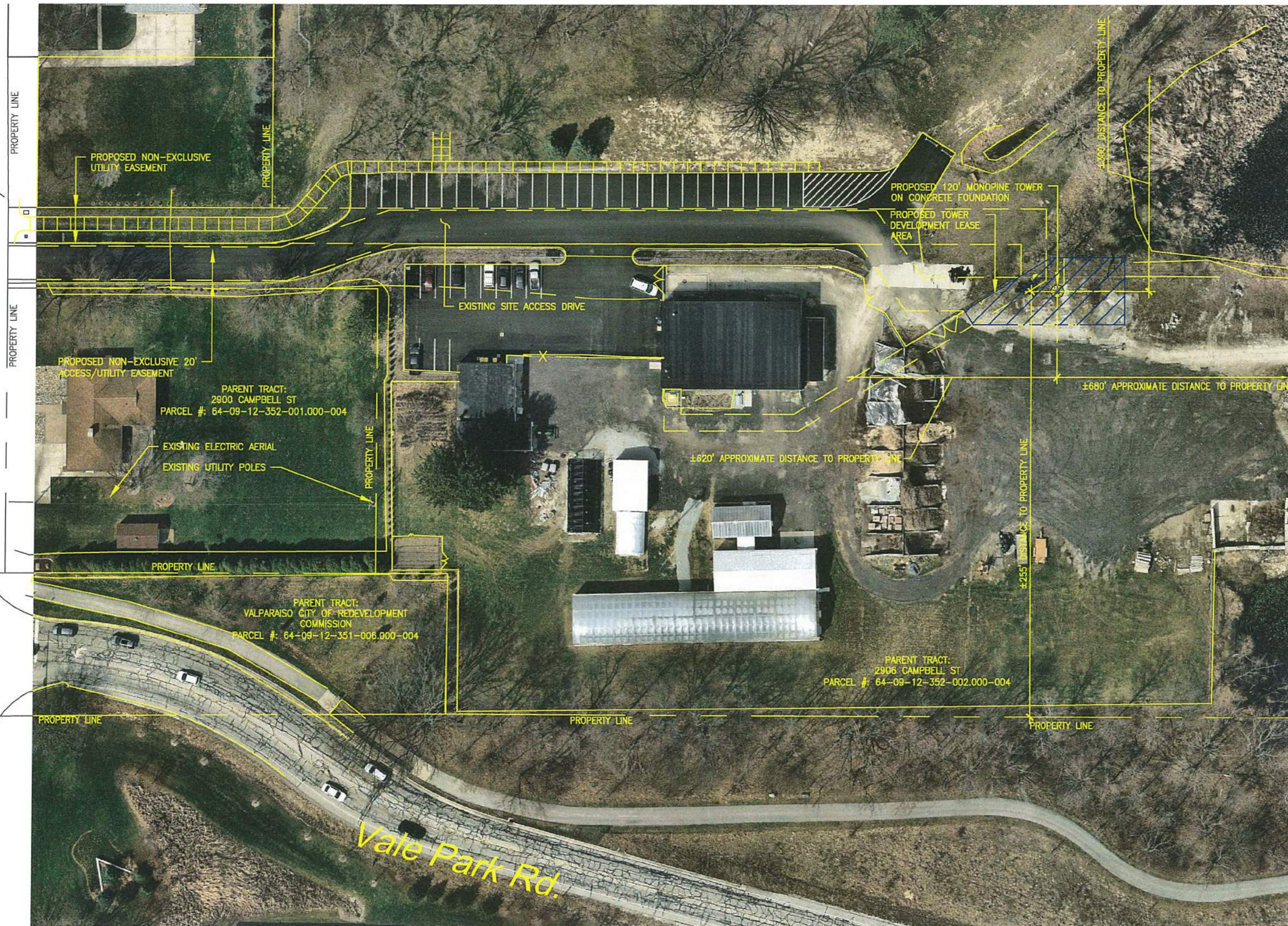
PRELIMINARY

Lawrence W. Albaugh
Indiana Registered Land Surveyor No. 80910002
Expires July 31, 2018

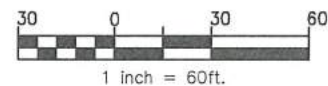
DATE: 08/05/19	DWG. BY: E.C.V.
SCALE: N/A	SURVEYED: C.Z./K.M.
UPDATE: WBM103019	CHKD BY: L.W.A.
PROJECT NO.: 219133.001	



N Campbell St.



Site Location Plan



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1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA

DOLAN
REALTY ADVISORS, LLC



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Fort Wayne, IN 46804

CERTIFICATION:

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CONSTRUCTION**

RELEASE

DATE	
05-31-19	PRELIMINARY LEASE EXHIBIT
07-11-19	LEASE EXHIBIT
09-19-19	90% CD'S
10-18-19	ZONING CD'S

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DRAWN BY: ZDE
CHECKED BY: MJA

SITE NAME:

**VALPO HS
CELL SITE**

SITE ADDRESS:

**N CAMPBELL STREET
VALPARAISO, IN 46383**

SHEET TITLE:

SITE LOCATION PLAN

A&E PROJECT NO.:

SHEET NO.:

C-1

CERTIFICATION:

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DRAWN BY: ZDE
CHECKED BY: MJA

SITE NAME:

VALPO HS
CELL SITE

SITE ADDRESS:

N CAMPBELL STREET
VALPARAISO, IN 46383

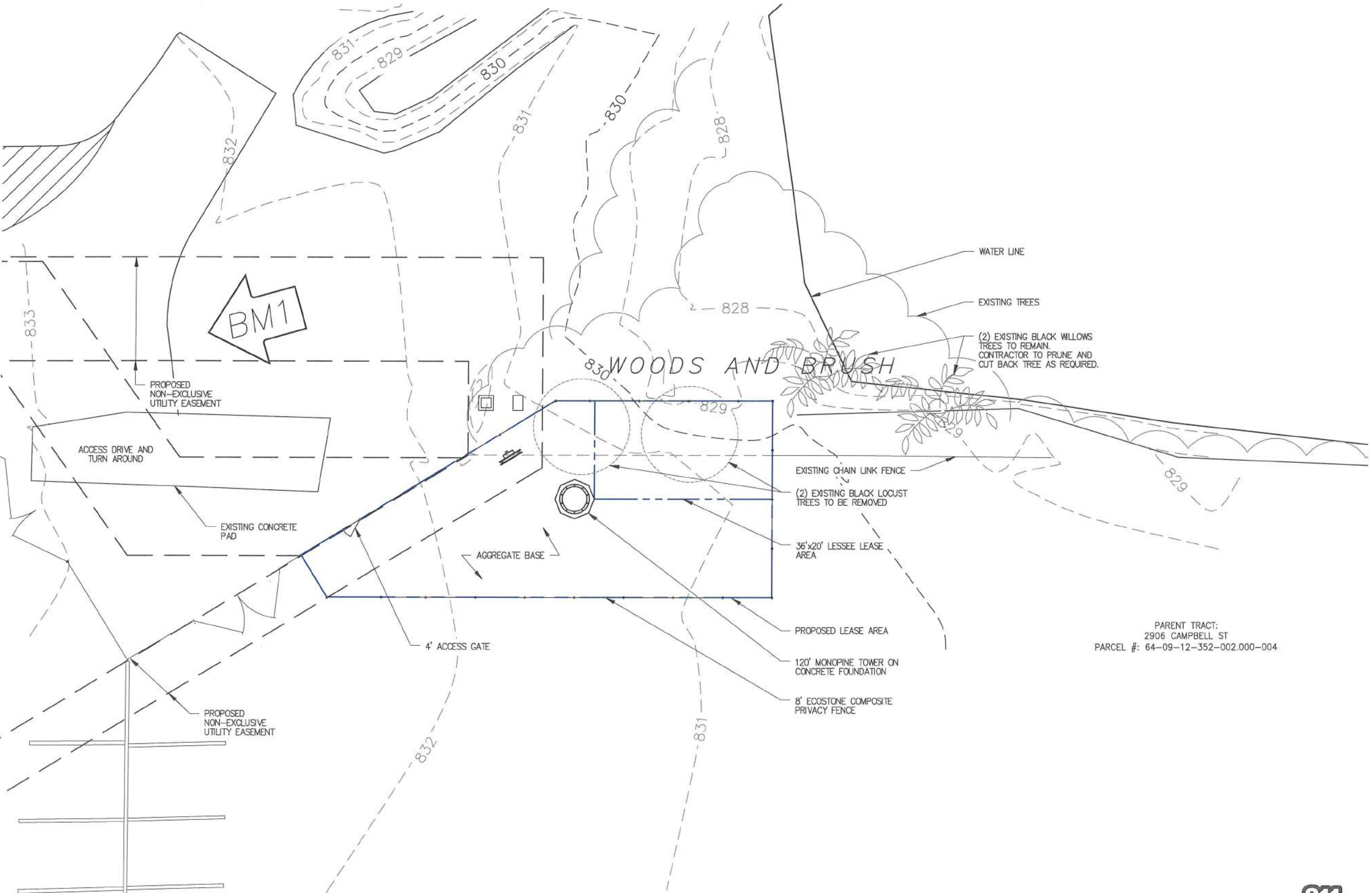
SHEET TITLE:

DEVELOPED SITE PLAN

A&E PROJECT NO.:

SHEET NO.:

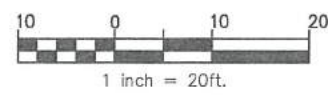
C-2



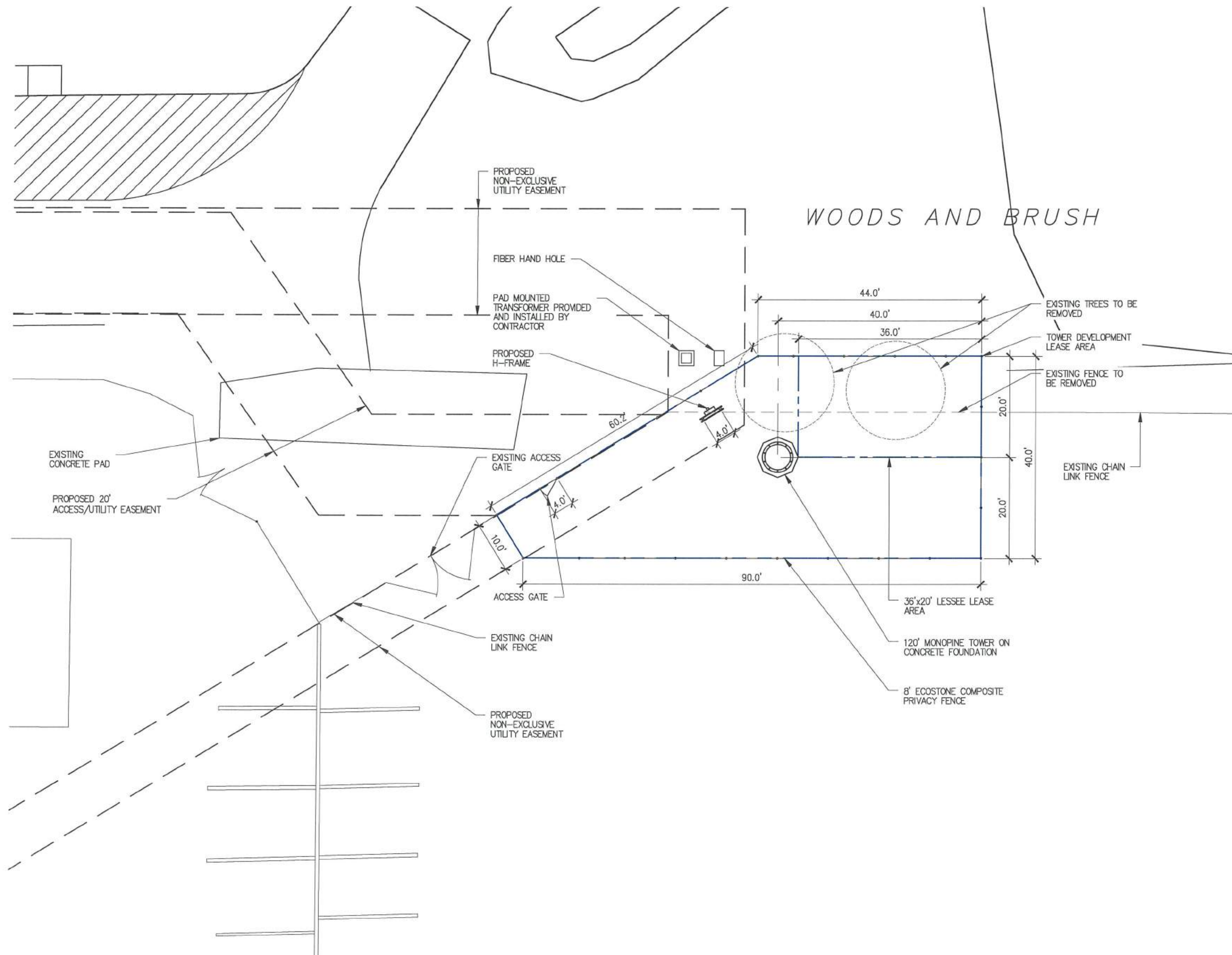
Contour Legend:

+XXX.X SPOT ELEVATION - SUBGRADE (FINISH GRADE OF SITE = 0.67' ABOVE SUBGRADE)
EXIST. CONTOUR - MINOR
EXIST. CONTOUR - MAJOR
NEW CONTOUR

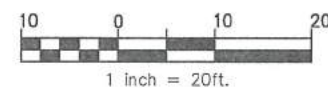
Developed Site Plan



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FOR CALLS OUTSIDE OF INDIANA



Enlarged Site Plan



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DRAWN BY: ZDE
CHECKED BY: MJA

SITE NAME:

**VALPO HS
CELL SITE**

SITE ADDRESS:

N CAMPBELL STREET
VALPARAISO, IN 46383

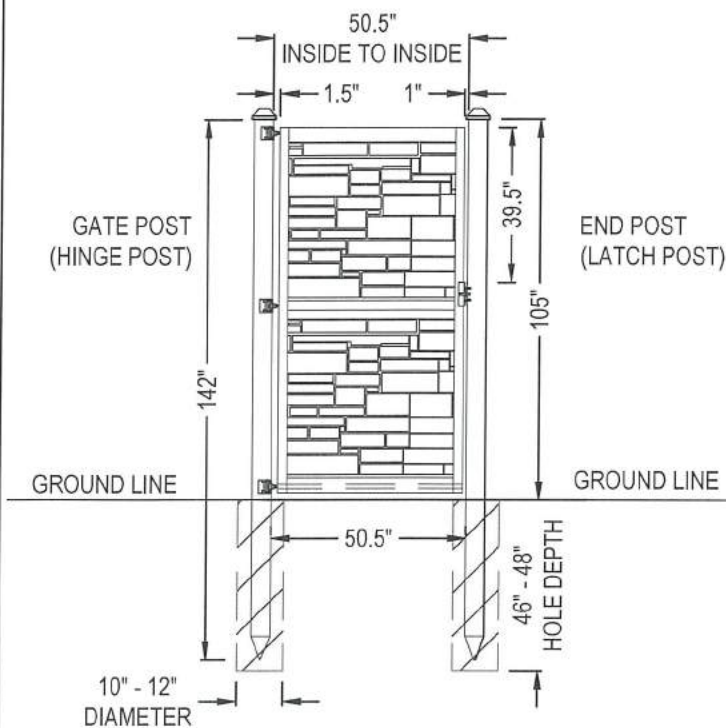
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A&E PROJECT NO.:

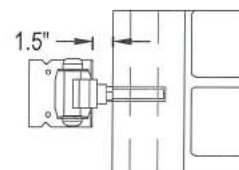
SHEET NO.:

C-3

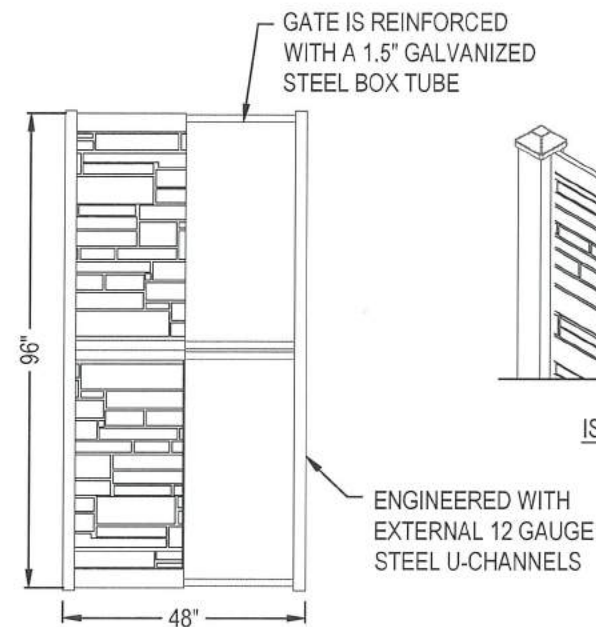


ELEVATION VIEW

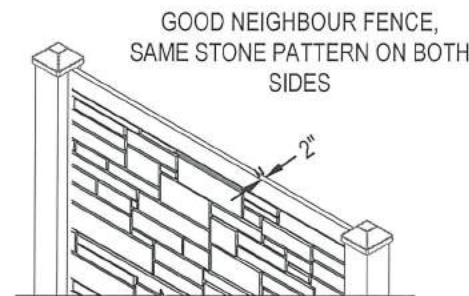
- MADE WITH LINEAR LOW DENSITY POLYETHYLENE PLASTIC (LLDPE).
- GATE WEIGHT 110LBS.
- TOLERANCES ARE $\pm .5$ "



GATE HINGE THREADS INTO THE UPPER AND LOWER INSERTS IN THE GATE METAL FRAME LEAVING ABOUT 1.5" FROM THE EDGE OF THE GATE TO THE GATE POST.

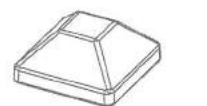


ACTUAL GATE DIMENSIONS



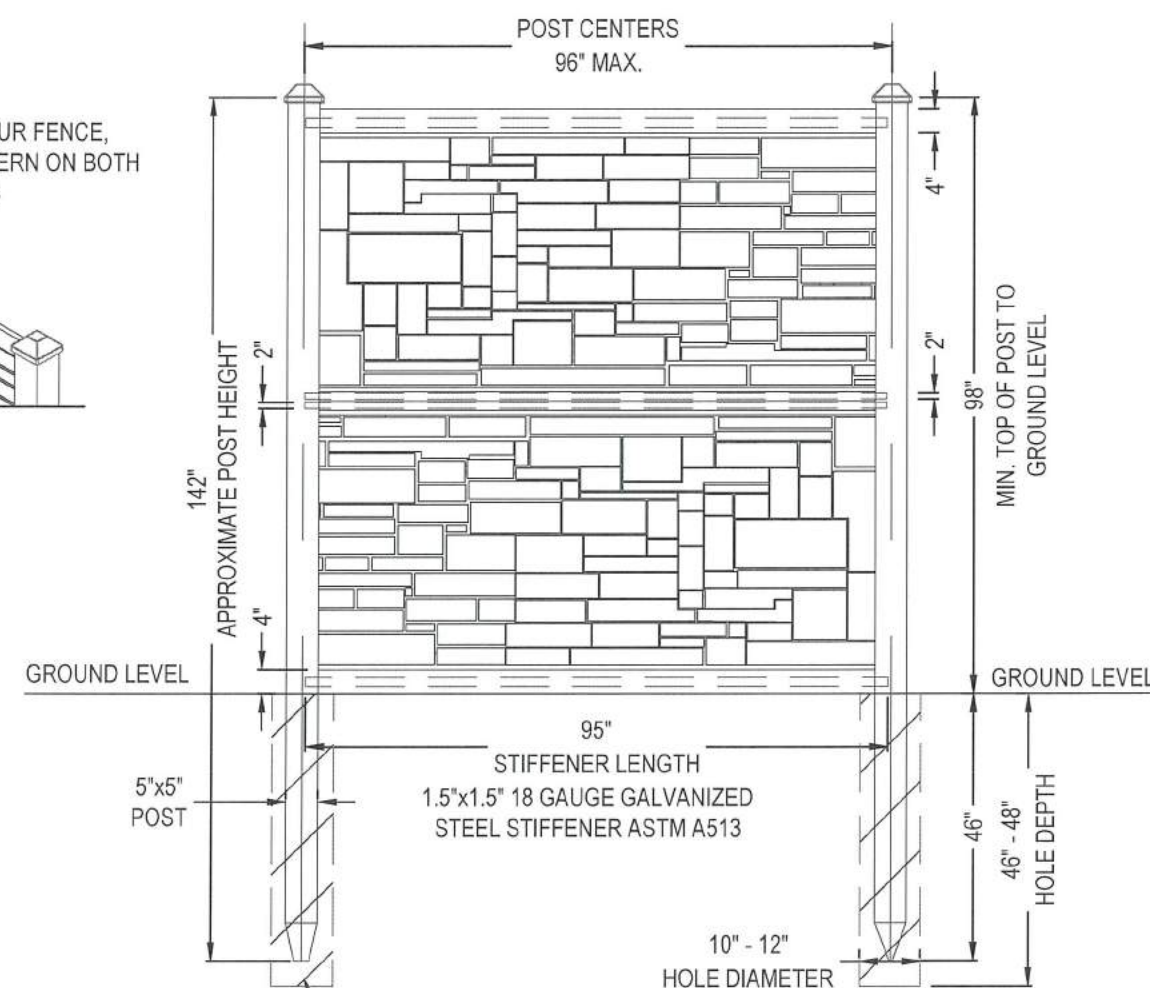
ISOMETRIC VIEW

ENGINEERED WITH EXTERNAL 12 GAUGE STEEL U-CHANNELS



CAPS

- MADE WITH LINEAR LOW DENSITY POLYETHYLENE PLASTIC (LLDPE).
- ACTUAL PANEL DIMENSIONS: 48"H x 94.25"W
- PANEL WEIGHT 60LBS
- TOLERANCES ARE $\pm .5$ "



ELEVATION VIEW

CONCRETE FOOTING DIAMETER 10" - 12" MIN. AND 46" TO 48" DEEP MIN. IN ACCORDANCE WITH LOCAL CONDITIONS, CODES, AND STANDARD BUILDING PRACTICES

1 SimTek Fence Gate - Model GT96X48

SCALE: NTS

2 Simtek Fence - Model FP96X96

SCALE: NTS

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07-11-19 LEASE EXHIBIT

09-19-19 90% CD'S

10-18-19 ZONING CD'S

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DRAWN BY: ZDE
CHECKED BY: MJA

SITE NAME:

**VALPO HS
CELL SITE**

SITE ADDRESS:

N CAMPBELL STREET
VALPARAISO, IN 46383

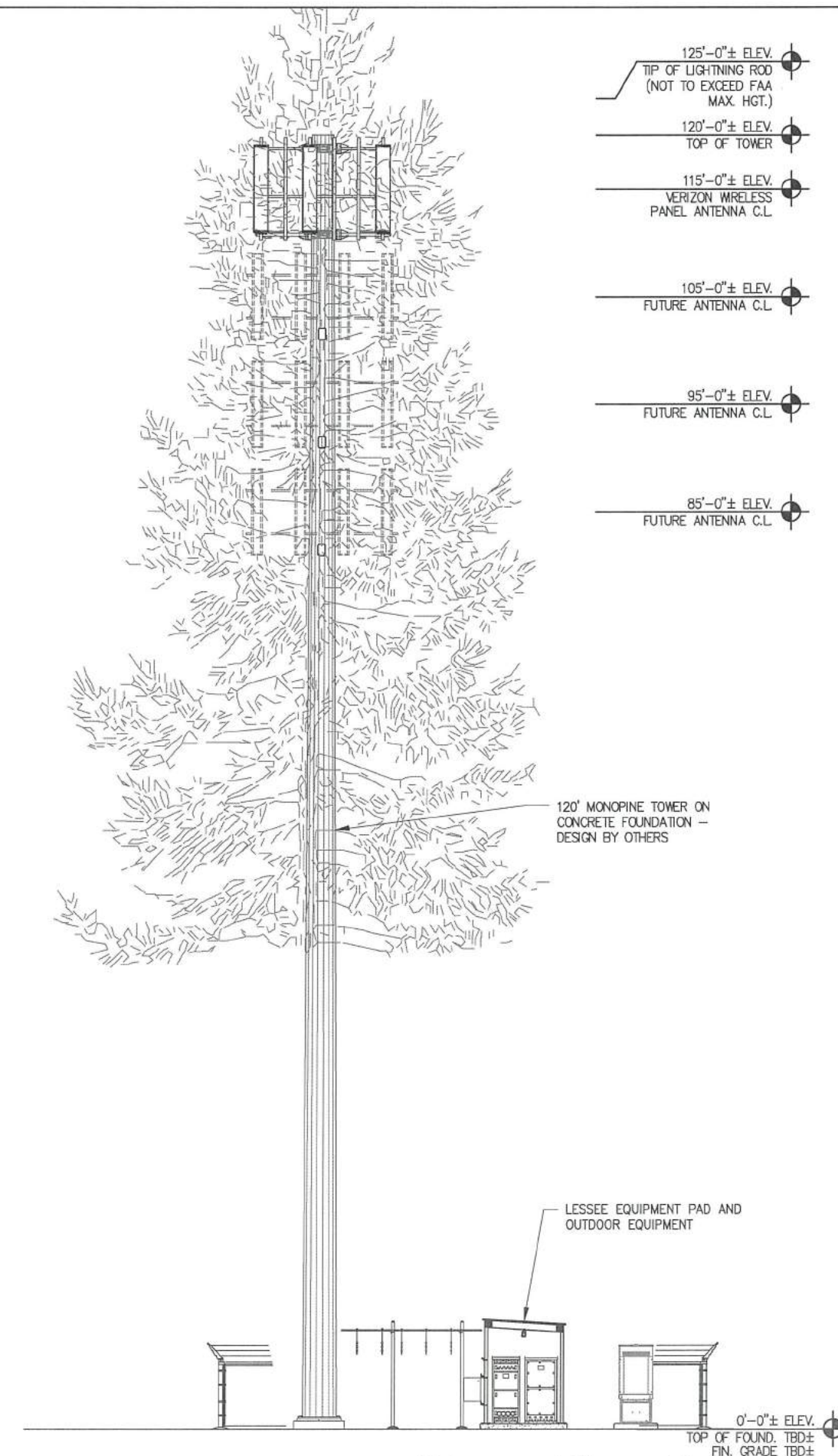
SHEET TITLE:

TYPICAL FENCE DETAILS

A&E PROJECT NO.:

SHEET NO.:

C-4



1 Tower Elevation
SCALE: 1" = 20'-0"



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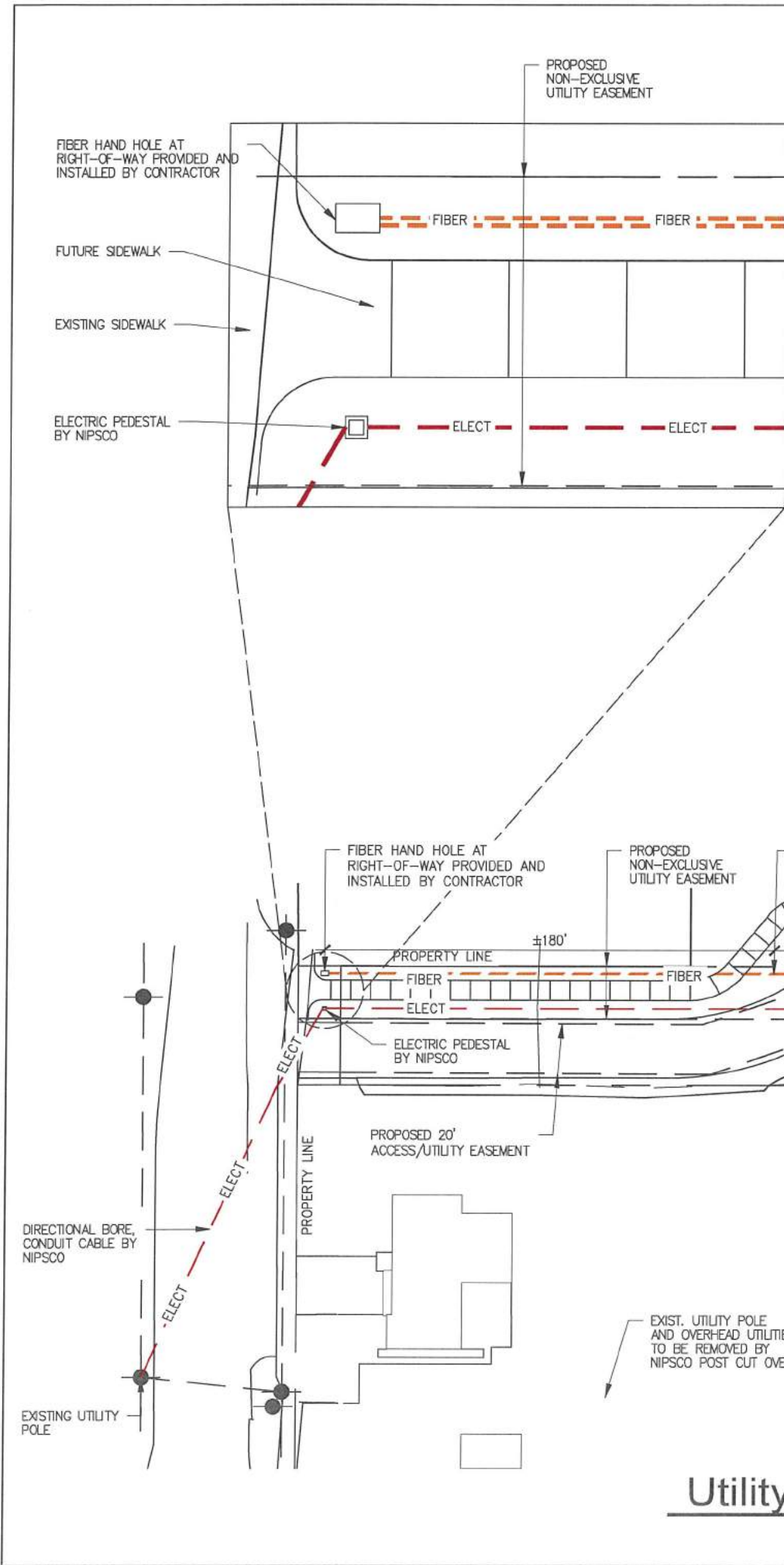
N CAMPBELL STREET
VALPARAISO, IN 46383

SHEET TITLE:

TOWER ELEVATION

A&E PROJECT NO.:

SHEET NO.:



General Notes

- WORK INCLUDES**
THESE NOTES AND ACCOMPANYING DRAWINGS COMPLEMENT THE PROVISIONS AND INSTALLATIONS BY THE ELECTRICAL CONTRACTOR, OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO INSTALL THE ELECTRICAL WORK COMPLETE IN CONNECTION WITH THIS VERIZON WIRELESS SITE AND SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
1. THE PROVISIONS, INSTALLATION, AND CONNECTION OF A GROUNDING ELECTRODE SYSTEM COMPLETE WITH A BUILDING AND SECONDARY GROUNDING, CELLULAR TELEPHONE COMMUNICATIONS TOWER AND CONNECTIONS TO THE INCOMING ELECTRICAL DISTRIBUTION EQUIPMENT.
 2. THE PROVISION AND INSTALLATION OF AN OVERHEAD ELECTRICAL SERVICE OR UNDERGROUND ELECTRICAL SERVICE AND ALL ASSOCIATED WIRE AND CONDUIT AS REQUIRED AND/OR INDICATED ON PLANS.
 3. THE PROVISION, INSTALLATION OF CONDUIT AND CONNECTIONS FOR LOCAL TELEPHONE SERVICE.
 4. THE FURNISHING AND INSTALLATION OF THE ELECTRICAL SERVICE ENTRANCE CONDUCTORS, CONDUITS, METER SOCKET, AND CONNECTIONS TO THE SERVICE EQUIPMENT WITHIN THE ENCLOSURE.
 5. TWO INCH (2") AND THREE INCH (3") DIAMETER PVC CONDUITS SCHEDULE 40.
 6. ALL PVC CONDUITS SHOULD BE LEFT WITH NYLON PULL CORD FOR FUTURE USE.
 7. EXCAVATION, TRENCHING, AND BACKFILLING FOR CONDUIT(S), CABLE(S), AND EXTERNAL GROUNDING SYSTEM.
- CODES, PERMITS, AND FEES**
1. ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS SHALL BE SECURED AND ALL FEES FOR SAME PAID BY CONTRACTOR.
 2. THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES: STATE, LOCAL AND NATIONAL, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING AUTHORITIES:
- | | |
|----------|---|
| N.E.C. | NATIONAL ELECTRIC CODE |
| A.N.S.I. | AMERICAN NATIONAL STANDARDS INSTITUTE |
| I.E.E.E. | INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS |
| A.S.T.M. | AMERICAN SOCIETY FOR TESTING MATERIALS |
| N.E.M.A. | NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION |
| U.L. | UNDERWRITERS LABORATORIES, INC. |
| N.F.P.A. | NATIONAL FIRE PROTECTION ASSOCIATION |
- GROUNDING ELECTRODE SYSTEM**
1. CONNECTIONS
ALL GROUNDING CONNECTIONS SHALL BE MADE BY THE "CADWELD" PROCESS CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, ETC. ALL CABLE TO GROUND RODS, GROUND RODS SPLICES AND LIGHTNING PROTECTION SYSTEM AS INDICATED. GROUND FOUNDATION ONLY AS INDICATED BY PM. ALL MATERIALS USED (MOLDS, WELDING, METAL, TOOLS, ETC.) SHALL BE BY "CADWELD" PROCESS AND INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND PROCEDURES. GROUND CONDUCTOR SHALL HAVE A MINIMUM 24" BENDING RADIUS.
 2. ALL CADWELD CONNECTIONS ON GALVANIZED SURFACES SHALL BE CLEANED THOROUGHLY AND COLORED TO MATCH SURFACE WITH (2) TWO COATS OF SHERWIN-WILLIAMS GALVITE (WHITE) PAINT B50W3 (OR EQUAL) OR SHERWIN-WILLIAMS SILVERBRITE (ALUMINUM) B59S11 (OR EQUAL).
 3. ALL ELECTRICAL & MECHANICAL GROUND CONNECTIONS SHALL HAVE ANTI-OXIDANT COMPOUND APPLIED TO CONNECTION
 4. FENCE/GATE:
GROUND FENCE POSTS WITHIN 6 FEET OF ENCLOSURE AND 25 FEET OF TOWER AS INDICATED ON DRAWINGS. GROUND EACH GATE POST AND CORNER POST. GROUND CONNECTIONS TO FENCE POSTS SHALL BE MADE BY THE "CADWELD" PROCESS AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE "CADWELD" PROCESS, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.
 5. UTILITY COMPANY COORDINATION:
ELECTRICAL CONTRACTOR SHALL CONFIRM THAT ALL WORK IS IN ACCORDANCE WITH THE RULES OF THE LOCAL UTILITY COMPANY BEFORE SUBMITTING THE BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THIS PROJECT AND SHALL DETERMINE FROM THEM ALL EQUIPMENT AND CHARGES WHICH THEY WILL REQUIRE AND SHALL INCLUDE THE COST IN THE BID.
 6. GROUND TEST:
GROUND TESTS SHALL BE PERFORMED AS REQUIRED BY VERIZON STANDARD PROCEDURES. GROUND GRID RESISTANCE SHALL NOT EXCEED 5 OHMS. CONTRACTOR SHALL SUBMIT THE GROUND RESISTANCE TEST REPORT AS FOLLOWS:
 1. ONE (1) COPY TO OWNER REPRESENTATIVE
 2. ONE (1) COPY TO ENGINEER
 3. ONE (1) COPY TO KEEP INSIDE EQUIPMENT ENCLOSURE



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DRAWN BY: ZDE
CHECKED BY: MJA
SITE NAME:

VALPO HS
CELL SITE

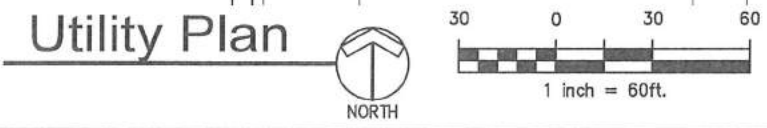
SITE ADDRESS:
N CAMPBELL STREET
VALPARAISO, IN 46383

SHEET TITLE:

UTILITY PLAN AND
GENERAL NOTES

A&E PROJECT NO.:

SHEET NO.:



Utility Color Legend

- ELECTRIC
- GAS, OIL, STEAM
- COMMUNICATIONS
- POTABLE WATER
- RECLAIMED WATER
- SEWER/ DRAINAGE
- SURVEY MARKS