



CITY OF VALPARAISO

166 Lincolnway
Valparaiso, IN 46383
(219) 462-1161

Valpo.us

Kyle Yelton, **President**

Citizen Member
appointed by Mayor
also on Plan Commission

James Bilder

Citizen Member
appointed by Mayor
not on Plan Commission

Paul Reed, **Vice President**

Citizen Member
appointed by Mayor
not on Plan Commission

Hannah Trueblood

Citizen Member
appointed by City Council and not
on Plan Commission

Sarah Litke

Citizen Member
appointed by Plan Commission
from its membership

As a quasi-judicial board,
board members may not be
contacted about any petition
on this agenda or that which
may appear on a future
agenda. Direct any
comments/questions to the
Planning Department.

STAFF

Bob Thompson,
Executive Secretary

Patrick Lyp,
Attorney

Valparaiso Board of Zoning Appeals Meeting Agenda

Tuesday, April 15, 2025, 5:30 p.m. CST
City Hall, 166 Lincolnway, Valparaiso, IN 46383
Council Chambers

1. Call to Order
2. Pledge of Allegiance
3. Roll Call and Declaration of a Quorum
4. Consideration of Minutes of the previous meeting(s)
 - February 18, 2025
 - March 18, 2025
5. Old Business and Matters Tabled (none)
6. New Business

VAR25-004 (Public Hearing)

A petition filed by Who Brew IL II, LLC (Petitioner). This variance request pertains to the development proposal of a 7 Brew Drive Thru Coffee at 2805 Calumet Avenue. The zoning classification is CG General Commercial. The petitioner requests the following variances from the Valparaiso Unified Development Ordinance (UDO):

- From 11.306 to reduce the minimum landscaped yard along Calumet from 30ft to 25ft;
- From 9.303 to locate stacking areas between the façade of a building and the public street upon which the building fronts and stacking lanes without an abutting eight-foot-wide bypass lane;
- From 11.502 to reduce the required maximum horizontal dimension and offsets to that shown per plan; and
- From 11.506 to reduce the required fenestration to that shown per plan.

VAR25-005 (to be tabled until next regularly scheduled meeting)

A petition filed by S & L Properties Thornapple LLC (Owner) c/o McCON Building Corporation and SAM. This variance request pertains to the development proposal of a Culver's Restaurant at 852 Thornapple Way. The zoning classification is CG General Commercial. The petitioner requests the following variances from the Valparaiso Unified Development Ordinance (UDO):

- From 11.502 to reduce the required maximum horizontal dimension and offsets to that shown per plan; and
- From 11.506 to reduce the required fenestration to that shown per plan.

7. Other Business
8. Staff Items
9. Adjournment

Next scheduled meeting: Tuesday, May 20, 2025, 5:30 p.m.

The agenda packet will be posted on the city's website (Valpo.us) approximately one week prior to the meeting. Interested persons desiring to participate in the public hearing process for a petition on the agenda may attend in person or submit written comments (with name, address, and email address/telephone number) to the Planning Department prior to the hearing date (planningdepartment@valpo.us or City Hall address provided above). For questions about a petition or about the meeting in general, contact the Planning Department at planningdepartment@valpo.us, (219) 462-1161, or visit City Hall. The meeting will be livestreamed on the city's website. A recording of the meeting will be posted on the city's website, and meeting minutes will be posted on the city's website once approved.

PETITION TO VALPARAISO BOARD OF ZONING APPEALS:

This application is being submitted for (Check all that apply):

- ☐ Use Variance
☒ Development Standards Variance \$150
☐ Special Exception/Special Use
☐ Relief to Administrative Decision
☐ Conditional Use
☐ Wireless Communications Facility

For Office Use Only:

Petition #: VAR25-004
Application Type: Dev. Standards Var
Application Filing Fee: \$150
Date Filed: 4 / 1 / 25
Meeting: 4 / 15 / 25

SUBJECT PROPERTY INFORMATION**TYPE OR PRINT IN INK**

Property Address:

2805 Calumet Avenue
Valparaiso, IN 46383

Subject property fronts on the West (Calumet Avenue)side between (streets) Vale Park Road& Cumberland Crossing DriveZoning District: CG - Commercial, General**PETITIONER INFORMATION**

Applicant Name:

Who Brew IL II, LLC

Phone:

(847) 372-2586

Email:

chrisgeorge@whobrewllc.com

Address:

2835 N. Sheffield Avenue #220
Chicago, IL 60657

PROPERTY OWNER INFORMATION

Applicant Name:

Luke Land II, LLC

Phone:

(219) 654-4821

Email:

DTursman@lukebrands.com

Address:

3592 N. Hobart Road
Hobart, IN 46342

SECTIONS OF UDO FROM WHICH A VARIANCE, SPECIAL EXCEPTION OR ADMIN RELIEF IS SOUGHT:

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

LEGAL DESCRIPTION OF SUBJECT PROPERTY: (OR EXHIBIT NO. _____)

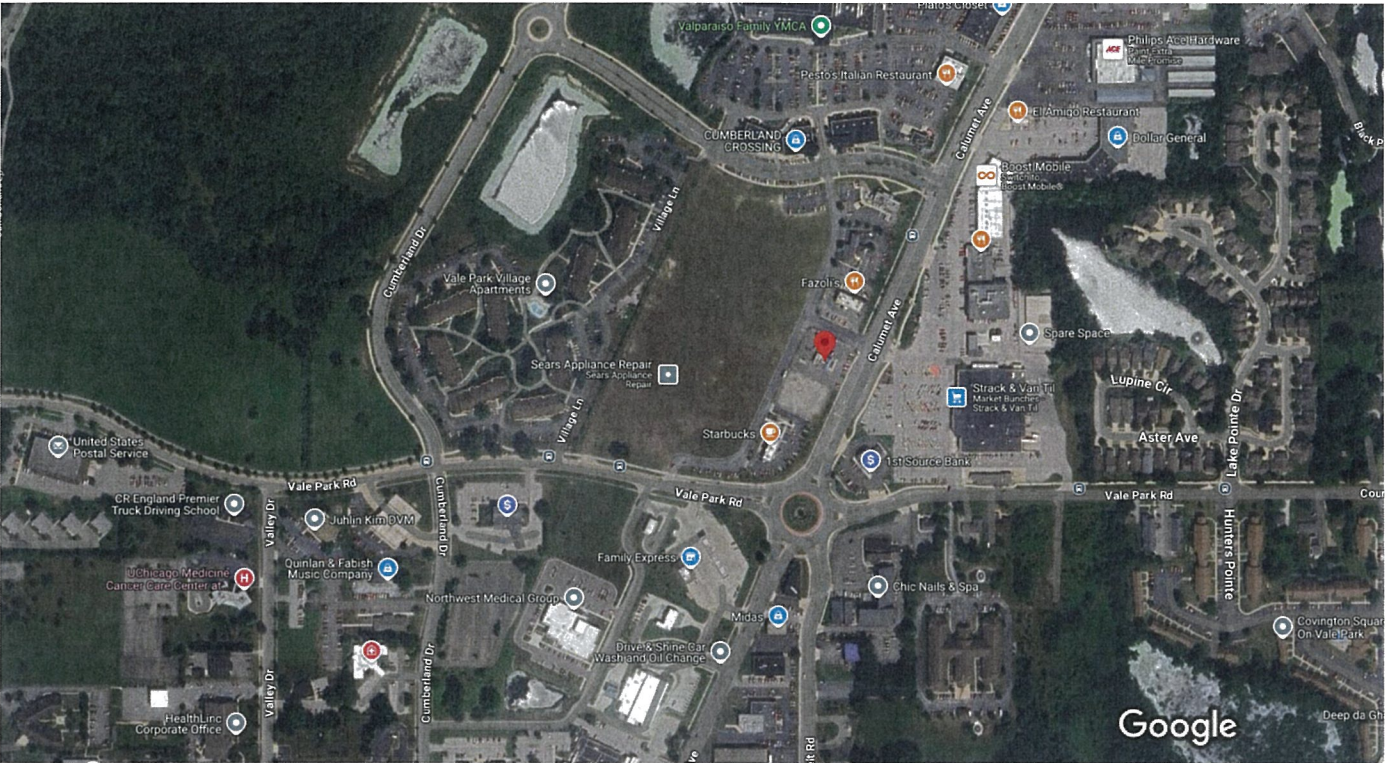
"Lot 2 in North Calumet 2015 Subdivision, Porter County, Indiana, as shown in plat 57-C-1 recorded October 25, 2017 as document no. 2017-026223 in the office of recorder of Porter County, Indiana."

DESCRIPTION OF PROPOSED PROJECT: (OR EXHIBIT NO. 1 _____)

see attached.



2805 Calumet Ave



Imagery ©2025 Airbus, CNES / Airbus, Maxar Technologies, Map data ©2025 200 ft



2805 Calumet Ave
Building



Directions



Save



Nearby



Send to
phone



Share



2805 Calumet Ave, Valparaiso, IN 46383



EXHIBIT NO. 1

March 3, 2025

Valparaiso Planning Department
166 Lincolnway
Valparaiso, IN 46383

RE: 7 Brew Submittal – 2805 Calumet Ave, Valparaiso, IN 46383

To Whom It May Concern,

This letter is in reference to the proposed 7 Brew development located at 2805 Calumet Ave, Valparaiso, IN. We appreciate the Village's time and feedback on the proposed development.

Applicant: Who Brew IL II, LLC

Property: 2805 Calumet Ave, Valparaiso, IN 46383

PIN: 64-10-07-355-001.000-004

Lot Size: 0.59 acres (25,575 sq. ft.)

Legal Description: LOT 2 IN NORTH CALUMET 2015 SUBDIVISION, PORTER COUNTY, INDIANA, AS SHOWN IN PLAT 57-C-1 RECORDED OCTOBER 25, 2017 AS DOCUMENT NO. 2017-026223 IN THE OFFICE OF RECORDED OF PORTER COUNTY, INDIANA.

About 7 Brew: 7 Brew Drive Thru Coffee ("7 Brew"), founded in Rogers, AR in 2017, has over 360 stands nationwide. Specializing in serving premium espresso-based coffee, chillers, teas, infused energy drinks, sodas and smoothies. There are over 20,000 unique drink options that can be created from 7 Brew's menu. 7 Brew is a drive-thru concept with a dual drive-thru configuration. Team members take orders on tablets instead of a traditional drive-thru speaker box, which allows 7 Brew to create personal relationships with their customers and serve them in a fast paced and friendly environment. 7 Brew's focus to their customer is speed and a friendly, welcoming environment which resonates amongst its team members to the customers with the goal to make its customers experience at 7 Brew the happiest part of their day, which drives business and keeps customers coming back. The concept opens at 5:30 AM and closes at 10:00 PM on weekdays and 11:00 PM on weekends. Each 7 Brew location operates with 5



employees at the stand during peak times. There are 750 orders a day which equates to ~1,125 estimated customers per day.

Key Aspects of a 7 Brew Drive-Thru:

Direct Customer Interaction:

Team members stand outside to greet customers at their car windows, taking orders directly instead of using a speaker system. Allows for improved order accuracy, speed of service and overall positive guest experience.

High Speed Service:

Streamlined operation prioritizes quick order taking and drink preparation to minimize wait times.

Personalized Approach:

Team members are encouraged to engage with customers, often remembering regular orders and using friendly banter to create a positive guest experience.

Extensive Menu Options:

A large variety of customizable coffee drinks, including specialty flavors and “Original 7” options, are available to cater to diverse preferences. Over 20,000 unique drink options.

No Indoor Seating:

7 Brew operates exclusively as a drive-thru concept, with no dine-in area.

**Current Use
Of Property:**

Vacant former Long John Silver’s restaurant

Project Description: Petitioner is proposing a freestanding 7 Brew double drive thru development project. The project consists of demolishing the vacant, existing single story retail building and replacing with a 510 sq. ft. modular building, a 238 sq. ft. cooler and dry storage area abutted up against the main building and a trash corral on the West side of the site. The building, cooler and trash corral will consist of the same exterior façade material which is a Nichiha Fiber Cement Panel in a brick pattern. The site plan consists of 7 Brew’s prototypical double drive-thru lane configuration with 9 parking stalls including 1 ADA parking stall and 22 car drive-thru queue. A pedestrian connection has been included for the site to a proposed sidewalk along the North side of the parcel running adjacent to the access road along with cleaning up existing conditions for the sidewalk that currently exists for the sidewalk along Calumet Ave at the access road. The site will be well landscaped to meet all zoning requirements.



Variances:

- 1) 11.306: to reduce the minimum landscaped yard along Calumet Avenue from 30' to 25'.
- 2) 9.303: to located stacking areas between the façade of a building and the public street upon which the building fronts and stacking lanes without an abutting eight foot wide bypass lane.
- 3) 11.502: to reduce the required maximum horizontal dimension and offsets to that shown per plan
- 4) 11.506: to reduce the required fenestration to that shown per plan

Sincerely,

Chris George

Variance for Development Standards

Petitioner's Proposed Findings of Fact

(Please use fillable pdf, print neatly, or attach printed document.)

Variance: 11.306 to reduce the minimum landscape yard along Calumet Ave from 30' to 25'

Petitioner submits that:

- A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because:

The proposed variance to reduce the landscape yard from 30' to 25' will not be injurious to public health, safety, morals and/or general welfare of the community because there is still an accommodation for a significant landscape buffer and will meet the landscape requirements in the landscape buffer area even with the 5' reduction. From the back of sidewalk to the back of curb, on Calumet Ave, the landscape buffer is 35.79' which meets the design intent and overall look and feel of the signature corridor landscape buffer requirement.

- B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because:

The adjacent properties use and value will not be affected in a substantially adverse manner by reducing the landscape buffer from 30' to 25' because we will still meet the landscape requirements in the greenbelt area, there is additional green space between the property line and the sidewalk totaling 35.79' and will look in place with adjacent properties that are meeting the landscape buffer requirements.

- C. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property included in the proposed variance because:

The strict application of the terms of the zoning ordinance staying at 30' will result in difficulties making the site plan function appropriately and gaining appropriate drive-thru stacking for the 7 Brew Drive-Thru Use. The current drive-thru configuration accommodates 22 stacking spaces. If this were reduced by 5', there would be a loss of 4 cars in the drive-thru queue, rendering the site plan difficult to operate for a drive-thru concept.

Variance for Development Standards
Petitioner's Proposed Findings of Fact

(Please use fillable pdf, print neatly, or attach printed document.)

Variance: 9.303 to locate drive-thru stacking areas between the façade of a building and the public street upon which the building fronts and stacking lanes without an abutting eight foot wide bypass lane.

Petitioner submits that:

- A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because:

The proposed variance of having the drive-thru stacking lane between the façade of the building and the public street will not be injurious to the public health, safety, morals and general welfare of the community because there will be a significant landscape buffer, and all landscape requirements will be met in the landscape buffer. The drive-thru lanes will be screened with the plant material from Calumet Ave and will not be noxious for the community.

Not having an eight foot wide bypass lane will also not create a situation that is negative to the general welfare of the community. There are two drive thru lanes with team members taking orders on iPads in the drive-thru instead of on a traditional drive-thru speaker box. There is ample space and team members can direct traffic for emergency vehicles to circulate the building, in the event of an emergency.

- B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because:

The use and value of adjacent properties will not be affected in a substantial manner, as there are other drive-thru users in the vicinity, including another one who has stacking between the building façade and public street. With the landscape buffer and meeting requirements for landscaping within the landscape buffer, there will not be any use and value of adjacent properties impacted.

The use and value of adjacent properties will not be affected by not having an eight foot wide bypass lane. In the event of a redevelopment of the property, drive-thru lane 1 can be utilized as the drive-thru lane and drive thru lane 2 can function as the bypass lane.

- C. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property included in the proposed variance because:

The strict application of the terms of the zoning ordinance will result in practical difficulties of creating a site plan that has an appropriate queue length for 7 Brew Drive-Thru, which is a drive-thru only concept.

Due to the landscape buffers, pedestrian sidewalk connection, and double drive-thru prototype of 7 Brew Drive-Thru Coffee, there is not room to fit the bypass lane rendering a situation where if the bypass lane were required, a site plan would not be feasible to function at this location for 7 Brew Drive-Thru Coffee.

Variance for Development Standards
Petitioner's Proposed Findings of Fact

(Please use fillable pdf, print neatly, or attach printed document.)

Variance: 11.502 to reduce the required maximum horizontal dimension and offsets to that shown per plan.

Petitioner submits that:

- A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because:

The proposed variance to reduce the offsets and maximum horizontal dimension will not be injurious to the public health, safety, morals and general welfare of the community because we are attempting to meet the design intent by pushing our cooler building up against the side of the primary building to create an offset to meet the intent of this code requirement.

- B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because:

The use and value of adjacent properties will not be affected in an adverse manner by this variance. There is an offset provided to intend to meet design intent and will not negatively impact adjacent properties.

- C. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property included in the proposed variance because:

The strict application of the terms of the zoning ordinance will result in practical difficulties as the 7 Brew Building is a modular building that is manufactured off-site and we are required to follow a specific building prototype per 7 Brew corporate design standards. By pushing the cooler building, which is usually separate from the main structure, up against the building, we are attempting to meet the intent of the design standard, while falling short of meeting the design standard completely. If we were to be forced to meet the design standard exactly, we would not be able to install our modular building.

Variance for Development Standards
Petitioner's Proposed Findings of Fact

(Please use fillable pdf, print neatly, or attach printed document.)

Variance: 11.506 to reduce the required fenestration to that shown per plan.

Petitioner submits that:

- A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because:

The proposed variance will not be injurious to the public health, safety, morals and general welfare of the community due to the building being for employees only and due to its small footprint, there is a significant amount of glazing on the building. All other areas are BOH where beverages are being made and would be an eye sore to the community if these BOH areas were able to be seen from public streets.

- B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because:

The use and value of the adjacent properties will not be affected in a negative way as we are a similar commercial use, creating synergies with adjacent properties, and have maximized the amount of glazing that can be installed on the building, with such a small building. In context with adjacent properties, the amount of glazing will not look out of place when comparing to adjacent properties.

- C. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property included in the proposed variance because:

Due to the 7 Brew Drive-Thru building being a modular building and the small nature of the building (510 sq. ft.) with significant programming inside the building, there is not the ability to add additional glazing. We believe we have maximized the amount of glazing that can be accommodated on the building. If we were forced to meeting the terms of the zoning ordinance, we would not be able to construct a 7 Brew.

SITE DEVELOPMENT PLANS FOR



VALPARAISO 01

2805 calumet ave
Valparaiso, Indiana 46383

PROJECT NUMBER:
104 064

SHEET INDEX	
SHEET NAME	NUMBER
COVER SHEET	C0.0
GENERAL NOTES	C0.1
DEMOLITION PLAN	C1.1
EROSION CONTROL PLAN	C1.2
SITE PLAN	C2.1
GRADING PLAN	C3.1
UTILITY PLAN	C4.1
LANDSCAPE PLAN	C5.1
STRIPING PLAN	C6.1
DETAILS	C7.1
DETAILS	C7.2
DETAILS	C7.3



KNOWN EXISTING UTILITIES		
UTILITY	PROVIDER	PHONE NUMBER
ELECTRIC	NIPSCO	800-464-7726
WATER	VALPARAISO CITY UTILITIES	219-462-6174
SANITARY SEWER	VALPARAISO CITY UTILITIES	219-462-6174
GAS	NIPSCO	800-464-7726



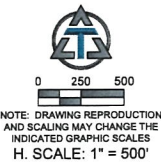
ENGINEER OF RECORD:
NAME: MATTHEW MILLER
LICENSE NO. IN #PE-12100343

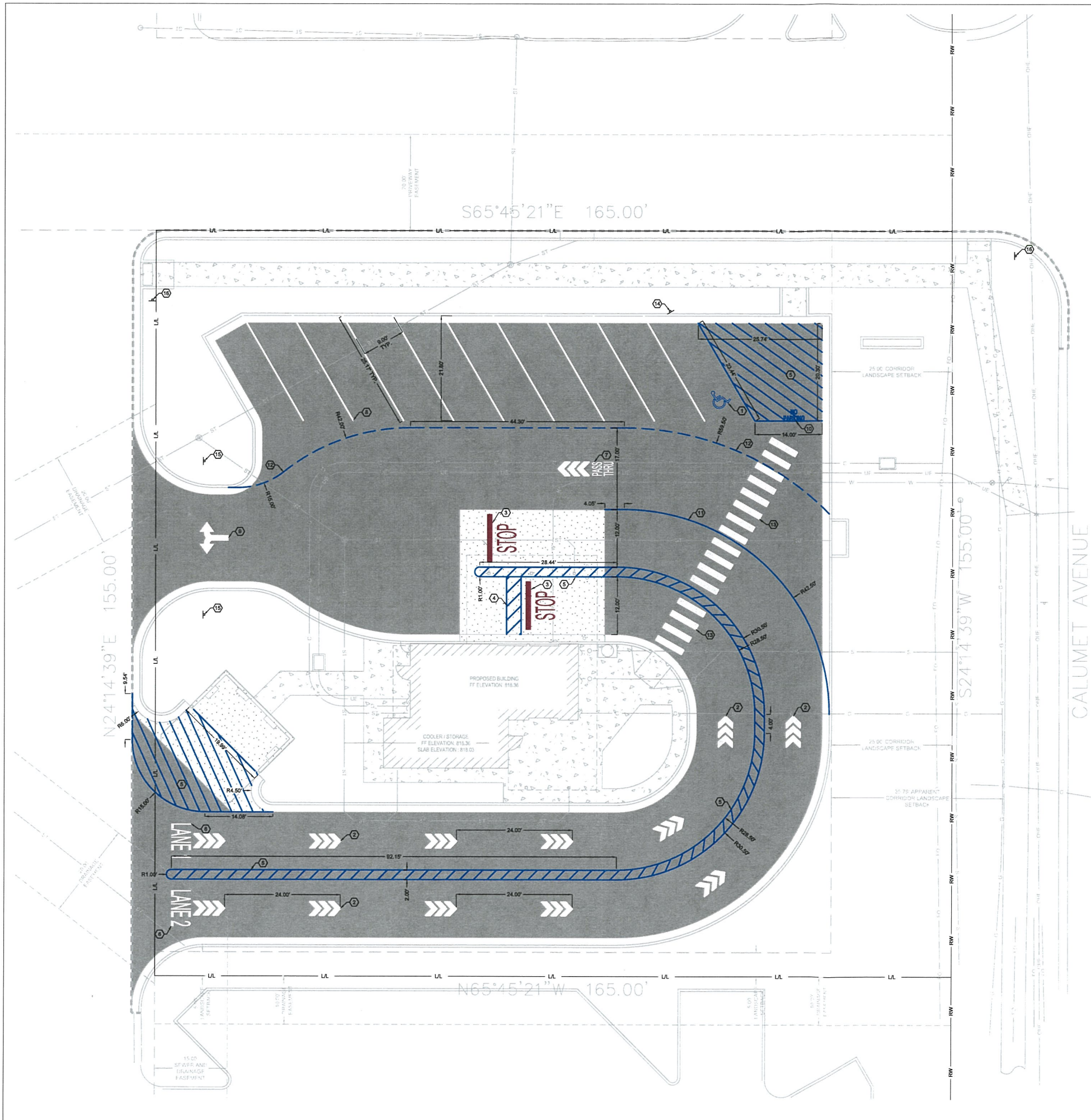
PROJECT NUMBER:
104 064
REVISION:

7 BREW COFFEE
VALPARAISO 01
2805 calumet ave
Valparaiso, Indiana 46383

C0.0
COVER SHEET

DATE: MARCH 27, 2025



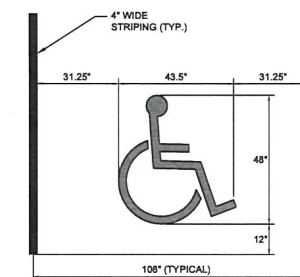


HATCH LEGEND:

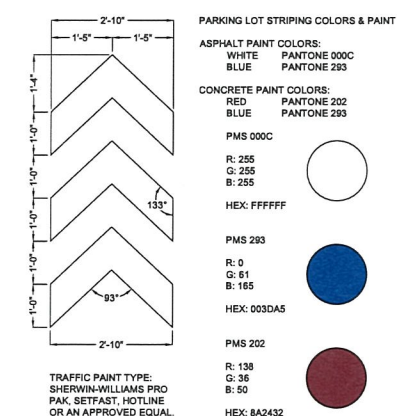
- ASPHALT PAVEMENT
PER DETAIL 2.08 SHEET C7.1.
- CONCRETE SIDEWALK
PER SIDEWALK DETAIL 2.02 SHEET C7.1.
- CONCRETE PAVEMENT
PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.08 SHEET C7.1.

KEY NOTES:

- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL PER DETAIL 6.01, THIS SHEET.
- SOLID WHITE TRIPLE ARROW PAVEMENT MARKER, PER DETAIL 6.02, THIS SHEET.
- 12" SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.
- ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
- 4-INCH SOLID BLUE PAVEMENT MARKER, TYPICAL. MIDLINES SPACE AT 24" O.C.
- 48-INCH TALL "LANE #1" PAINTED IN WHITE.
- 24-INCH TALL "PASS THRU" PAINTED IN WHITE.
- 4-INCH SOLID WHITE PAVEMENT MARKER FOR PARKING, TYPICAL.
- SOLID WHITE DIRECTIONAL ARROW PAVEMENT MARKING.
- "NO PARKING" PAINTED IN ACCESS AISLE. ALL CAPITAL LETTERS < 12-INCH HEIGHT LETTERS, 2-INCH STROKE.
- 4-INCH SOLID BLUE PAVEMENT MARKER.
- 4-INCH DASHED BLUE PAVEMENT MARKER.
- CROSS WALK PAVEMENT MARKING, 12" WIDE BY 6' LONG SOLID WHITE PAINT SPACED EVERY 3'. ORIENT THE STRIPES IN THE DIRECTION SHOWN PARALLEL TO THE DIRECTION OF TRAFFIC.
- ADA VAN ACCESSIBLE SIGN PER DETAIL 6.03, SHEET C7.1.
- ONE WAY DO NOT ENTER SIGN PER DETAIL 6.04, SHEET C7.2.
- STOP SIGN PER DETAIL 6.04, SHEET C7.2.



6.01 ADA ACCESSIBLE PARKING SYMBOL
SCALE: NONE



6.02 PARKING LOT STRIPING COLORS & PAINT
SCALE: NONE



ENGINEER OF RECORD:
NAME: MATTHEW MILLER
LICENSE NO. IN #PE-12100343

PROJECT NUMBER:
104 064

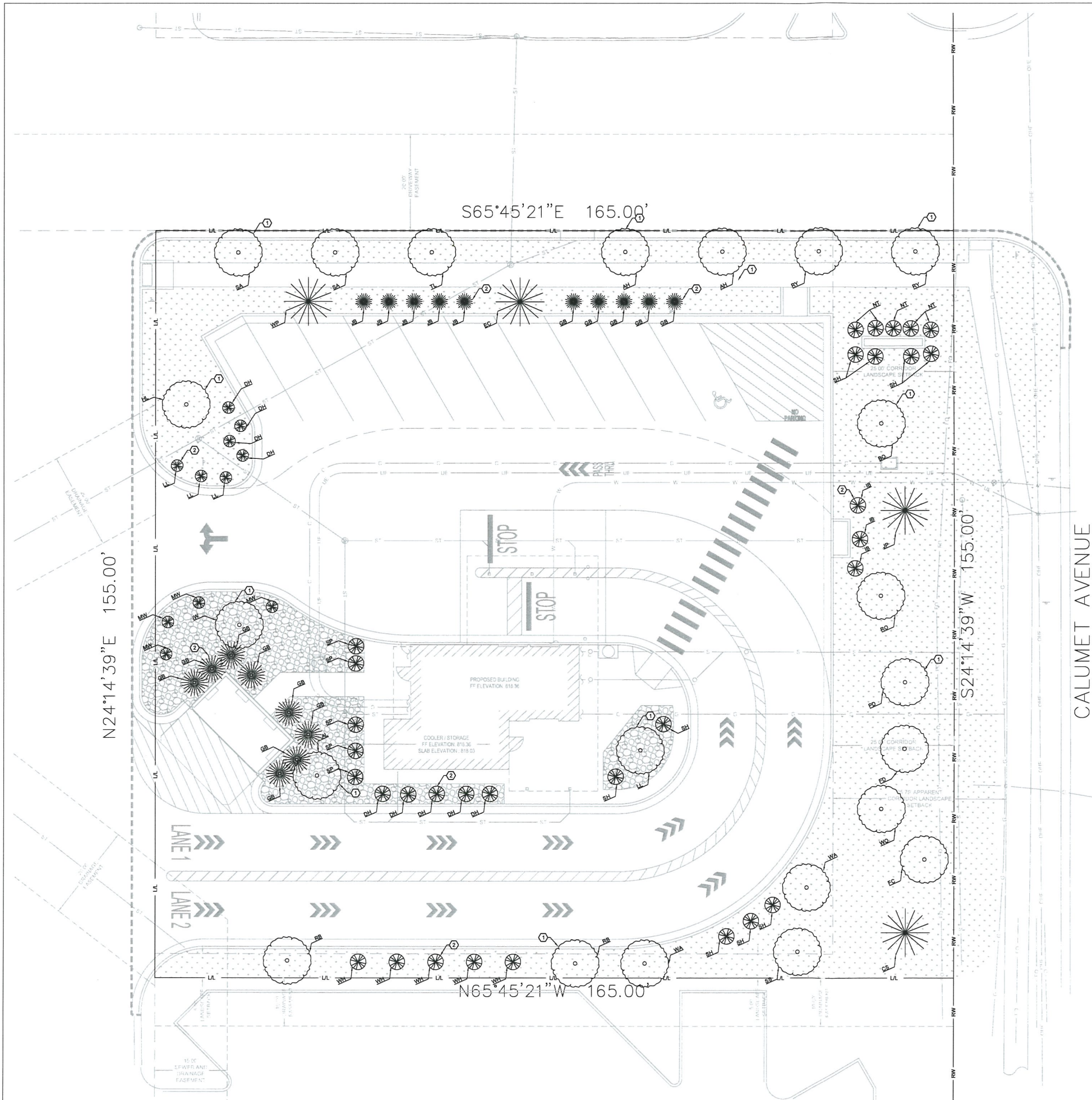
REVISION:

7 BREW COFFEE
VALPARAISO 01

2805 Calumet Ave
Valparaiso, Indiana 46383

C6.1
STRIPING PLAN

DATE: MARCH 27, 2025



GENERAL LANDSCAPING NOTES

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES AND OTHER ABOVE OR BELOW GROUND OBSTRUCTIONS SO THAT PROPER PRECAUTIONS SHALL BE TAKEN NOT TO DISTURB OR DAMAGE SUCH IMPROVEMENTS. REFER TO CIVIL DRAWINGS FOR PROPOSED AND EXISTING UTILITY LOCATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MIN. QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- THE ARCHITECT OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- SPECIFIED CALIPER MEASUREMENT FOR TREES SHALL BE MEASURED AT 6" ABOVE THE GRADE.
- ANY MATERIAL WHICH DIES OR DEFOLIATES PRIOR TO ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED AND REPLACED.
- CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTING TO DETERMINE EXACT FERTILIZER REQS.
- PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE CITY AND LOCAL GOVERNING BODIES. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN.
- BACKFILL TREE AND SHRUB PITS WITH A PREPARED PLANTING MIX AS FOLLOWS U.N.O.:
 - A. 2 PARTS BY VOLUME TOPSOIL.
 - B. 1 PART BY VOLUME BROWN RIVER SAND.
 - C. 1 PART BY VOLUME PEAT MOSS.
 - D. 1 LB. COMMERCIAL FERTILIZER PER C.Y. OF MIX.
- ALL TREE PITS SHALL RECEIVE A MINIMUM OF 24" OF THE SPECIFIED PLANTING MIX.
- ALL PLANTINGS SHALL BE MULCHED WITH A 3"-4" LAYER OF SHREDDED HARDWOOD MULCH AFTER INSTALLATION OF PLANT MATERIAL.
- ALL SHRUB PLANTING MATERIAL SHALL MEASURE A MIN. OF 18" IN HEIGHT AT THE TIME OF PLANTING.
- THE PLAN IS SUBJECT TO CHANGES BASED ON PLANT SIZE AND MATERIAL AVAILABILITY. ANY DEVIATION TO THE APPROVED FINAL LANDSCAPING PLAN SHALL REQUIRE THE WRITTEN APPROVAL OF THE ARCHITECT PRIOR TO INSTALLATION.
- KILL AND REMOVE ALL EXISTING WEEDS FROM THE SITE AREA PRIOR TO PLANTING.
- REFER TO SITE GRADING PLAN FOR FINISH GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTINGS UNTIL TOTAL ACCEPTANCE OF THE WORK BY THE ARCHITECT AND OWNER.
- CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNER'S REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- REFER TO SITE PLAN FOR GROUND COVERING REQUIREMENTS.
- SEEDED AREAS SHALL BE REASONABLY SMOOTH AND FREE FROM STONES, ROOTS, OR OTHER DEBRIS.
- SODDED AREAS SHALL BE INSTALLED PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
- PERMANENT SEEDING SEASON RUNS FROM MARCH 1ST TO JUNE 1ST AND SEPTEMBER 15TH TO NOVEMBER 1ST. SEEDING AND MULCHING MUST BE DONE WHENEVER WORK IS COMPLETE REGARDLESS OF THE SEASON. WHENEVER SEEDING AND MULCH IS INSTALLED OUTSIDE THE PERMANENT SEEDING SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLANTING AND MULCHING ANY AREAS WHERE GROWTH HAS NOT BECOME ESTABLISHED DURING THE NEXT PERMANENT SEASON.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE LANDSCAPE IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT AND OBTAIN THE REVIEW AND APPROVAL FROM THE LOCAL GOVERNMENT AGENCY THAT HAS JURISDICTION OVER THE IRRIGATION IMPROVEMENTS INCLUDED IN THIS SET OF DRAWINGS.

PLANTING LIST

TYPE	COMMON NAME (SCIENTIFIC NAME)	QUANTITY REQUIRED	QUANTITY PROVIDED	CONDITION AND SIZE	APPROXIMATE MATURE SIZE (HT x SP)
LARGE TREES					
BO	BURR OAK (QUERCUS MACROCARPA)	1	1	2.5" CAL.	80' X 60'
RO	RED OAK (QUERCUS RUBRA)	1	1	2.5" CAL.	80' X 60'
WO	WHITE OAK (QUERCUS ALBA)	1	1	2.5" CAL.	50' X 35'
CP	COLORADO SPRUCE (PICEA PUNGENS)	1	1	2.5" CAL.	50' X 45'
JP	JACK PINE (PINUS BANKSIANA)	1	1	2.5" CAL.	45' X 30'
SS	SASSAFRASS (SASSAFRASS ALBIDUM)	1	1	2.5" CAL.	30' X 45'
EC	EASTERN RED CEDAR (JUNPERUS VIRGINIANA)	1	1	2.5" CAL.	50' X 20'
WP	WHITE PINE (PINUS STROBUS)	1	1	2.5" CAL.	50' X 40'
LL	LITTLELEAF LINDEN (TILIA CORDATA)	1	1	2.5" CAL.	30' X 30'
W	IRONWOOD (OSTRYA VIRGINIANA)	1	1	2.5" CAL.	30' X 15'
AL	AMERICAN LINDEN (TILIA AMERICANA)	1	1	2.5" CAL.	60' X 45'
HL	HONEY LOCUST (GLEDTILIA TRIACANTHOS)	1	1	2.5" CAL.	40' X 30'
SMALL TREES					
FD	FLOWERING DOGWOOD (CORNUS FLORIDA)	1	1	1.5" CAL.	25' X 20'
FC	FLOWERING CRABAPPLES (MALUS SP.)	1	1	1.5" CAL.	20' X 10'
AH	AMERICAN HORNBEAM (CARPINUS CAROLINIANA)	2	2	1.5" CAL.	20' X 20'
SA	SPECKLED ALDER (ALNUS RUGOSA)	2	2	1.5" CAL.	20' X 15'
RY	RED BUCKEYE (AESULUS GLABRA)	2	2	1.5" CAL.	20' X 12'
RB	REDBUD (CERCIS CANADENSIS)	2	2	1.5" CAL.	15' X 15'
AH	AMERICAN HORNBEAM (CARPINUS CAROLINIANA)	2	2	1.5" CAL.	20' X 20'
WA	WAFER ASH (PTELEA TRIFOLIATE)	2	2	1.5" CAL.	15' X 10'
SHRUBS					
IB	INDIGO BUSH (AMORPHA FRUTICOSA)	3	3	18" MIN.	6' X 6'
SP	GRO-LOW SUMAC (RHUS AROMATIC)	4	4	18" MIN.	2' X 2'
NT	NEW JERSEY TEA (CEANOTHUS AMERICANUS)	5	5	18" MIN.	2' X 2'
JB	JAPANESE BOXWOOD (BOXUS JAPONICA)	5	5	18" MIN.	6' X 6'
GB	GLENCOE BOXWOOD (BOXUS GLENCOE)	8	8	18" MIN.	4' X 3'
LB	LITTLELEAF BOXWOOD (BOXUS MICROPHYLLA)	6	6	18" MIN.	4' X 3'
WH	VERNAL WITCH HAZEL (HAMMELIS VERNALIS)	5	5	18" MIN.	12' X 10'
SP	STEPHANANDRA (STEPHANANDRA INCISA)	5	5	18" MIN.	2' X 3'
SH	SMOOTH HYDRANGEA (HYDRANGEA ARBORESCENS)	5	5	18" MIN.	3' X 1'
PERENNIALS					
DH	DWARF HONEYSUCKLE (DIERVILLA LONICERA)	4	4	12" MIN.	24" MIN.
LL	LILIES (LILIUM)	3	3	12" MIN.	24" MIN.
MW	MILKWEED (ASCLEPIAS L.)	4	4	12" MIN.	24" MIN.

LANDSCAPING REQUIREMENTS:

ON-LOT & PARKING LOT LANDSCAPING:

- 7 LARGE TREES
- 11 SMALL TREES
- 42 SHRUBS, PERENNIALS, AND/OR ORNAMENTAL GRASSE

CORRIDOR LANDSCAPING:

- 3 SHADE TREES
- 3 ORNAMENTAL TREES
- 2 EVERGREEN TREES
- 3 LARGE SHRUBS
- 9 SMALL SHRUBS, PERENNIALS, AND/OR ORNAMENTAL GRASSES

HATCH LEGEND

- TURF GRASS SOD. INSTALL PER SUPPLIER'S INSTALLATION INSTRUCTIONS.
- LANDSCAPE ROCK. PLACE 6" OF 1"-2" RIVER ROCK OVER COMMERCIAL GRADE WEED FABRIC.

KEY NOTES:

- TREES TO BE PLANTED ACCORDING TO TREE PLANTING DETAIL 5.01, SHEET C7.2.
- SHRUBS TO BE PLANTED ACCORDING TO SHRUB PLANTING DETAIL 5.02, SHEET C7.1.



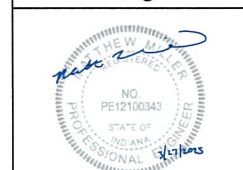
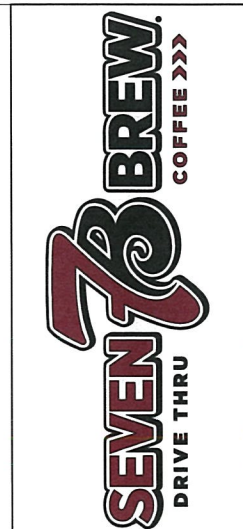
0 5 10
H. SCALE: 1" = 10'



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ENGINEER OF RECORD:

NAME: MATTHEW MILLER

LICENSE NO. IN #PE-12100343

PROJECT NUMBER:

104 064

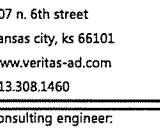
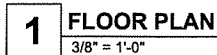
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7 BREW COFFEE
VALPARAISO 01

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C5.1
LANDSCAPE PLAN
DATE: MARCH 27, 2025

2	MECH ACCESS RM
	3/8" = 1'-0"

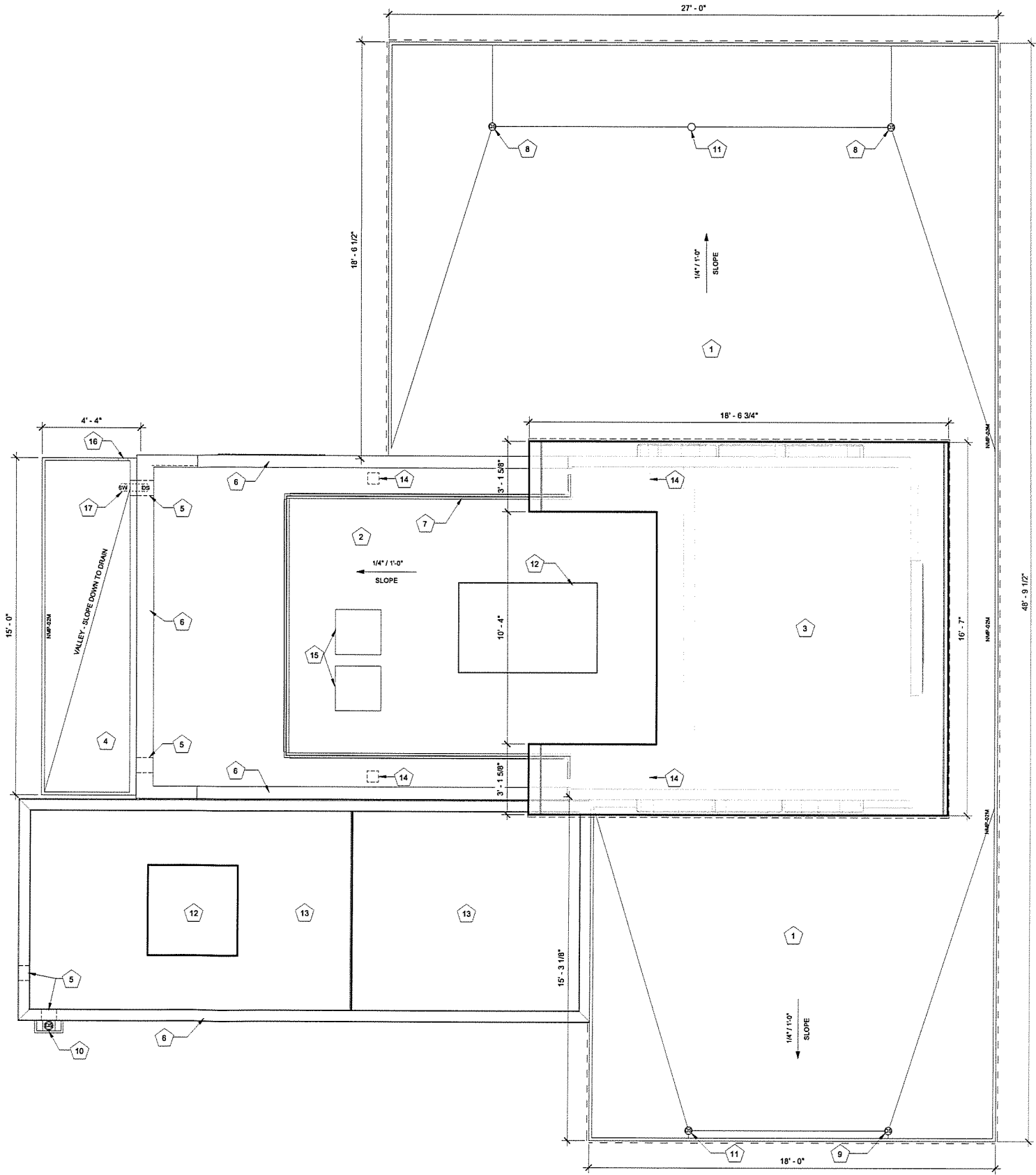


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Sheet no.:

A1.2

ROOF PLAN KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED CANOPY W/ TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING; REF CANOPY SHOP DRAWINGS
2	TPO ROOFING ON ROOF SHEATHING PER STRUCT
3	CORRUGATED ARC METAL ROOF ON #15 FELT ON PLYWOOD ROOF SHEATHING
4	TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING
5	8" WIDE X 4" HIGH TPO ROOF SCUPPER WITH SHEET METAL UNDERLAYMENT
6	BRAKE METAL CAP; REF ELEVATIONS
7	3' - 6" GUARDRAIL
8	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
9	ROOF DRAIN WITHIN STRUCTURAL COLUMN; DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
10	<varies>
11	OVERFLOW ROOF DRAIN
12	HVAC EQUIPMENT
13	ROOFING PER COOLER MANUF
14	MODULAR BUILDING PICK POINTS WITH ROOFING COLLAR; REF STRUCT
15	ICE MACHINE CONDENSERS; SITE CONTRACTOR TO DETERMINE FINAL LOCATION
16	OVERFLOW SCUPPER TO GRADE
17	CONNECT ABOVE-GRADE DOWNSPOUT OUTLET TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL



1 ROOF PLAN
3/8" = 1'-0"



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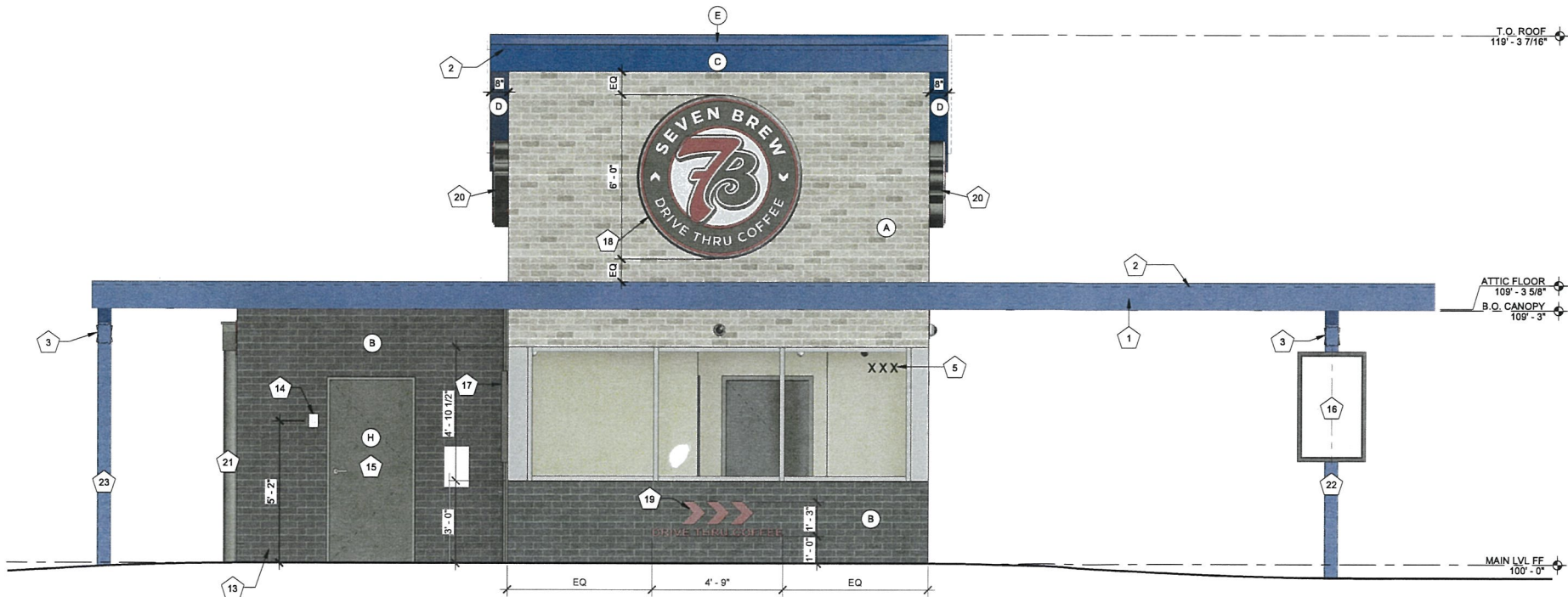
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sheet contents:

ROOF PLAN

sheet no.:

A1.6



1 EXTERIOR ELEVATION - EAST
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
H	PAINT DOOR TO MATCH COLOR OF SURROUNDING RBK-2

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR; CLAD W MP-1
10	KNOX BOX
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	COOLER LOCK & CONTROLS
15	36" COOLER DOOR
16	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
17	SURFACE-MOUNTED LIGHTED SIGN BOX
18	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
19	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
20	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
21	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
24	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
25	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL



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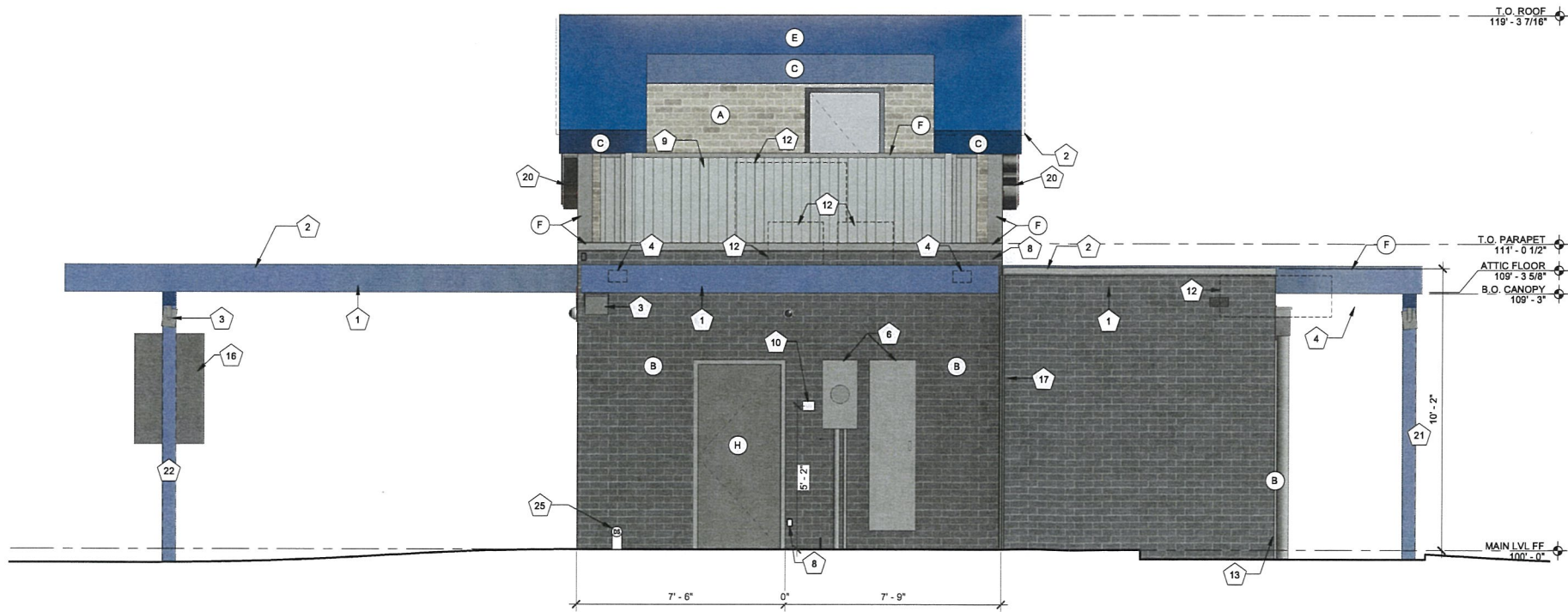
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EXTERIOR ELEVATIONS

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A2.0



1 EXTERIOR ELEVATION - WEST
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
H	PAINT DOOR TO MATCH COLOR OF SURROUNDING RBK-2

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR; CLAD W MP-1
10	KNOX BOX
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	COOLER LOCK & CONTROLS
15	36" COOLER DOOR
16	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
17	SURFACE-MOUNTED LIGHTED SIGN BOX
18	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
19	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
20	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
21	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
24	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
25	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL



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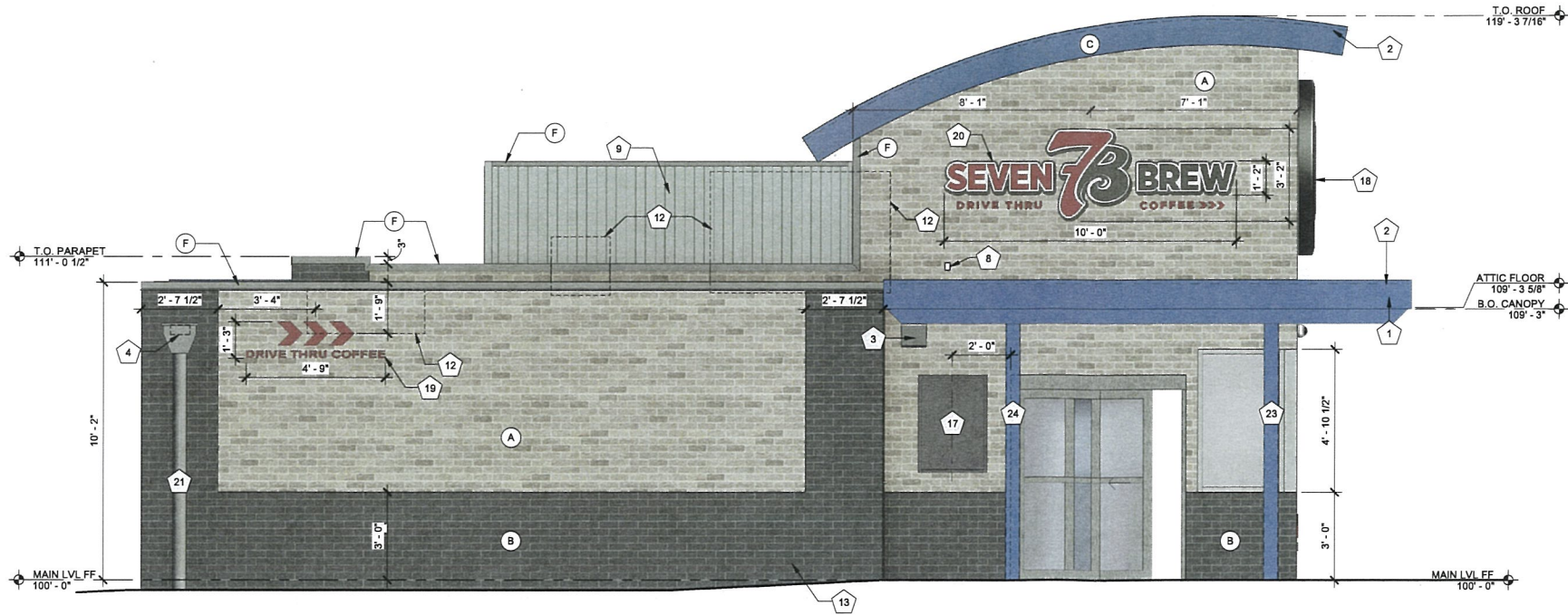
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EXTERIOR ELEVATIONS

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A2.1



2 EXTERIOR ELEVATION - SOUTH W/ COOLER
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
H	PAINT DOOR TO MATCH COLOR OF SURROUNDING RBK-2

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6: ABOVE ATTIC FLOOR; CLAD W MP-1
10	KNOX BOX
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
14	COOLER LOCK & CONTROLS
15	36" COOLER DOOR
16	SAMSUNG DIGITAL DISPLAYS; INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
17	SURFACE-MOUNTED LIGHTED SIGN BOX
18	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
19	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
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21	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
23	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
24	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
25	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL



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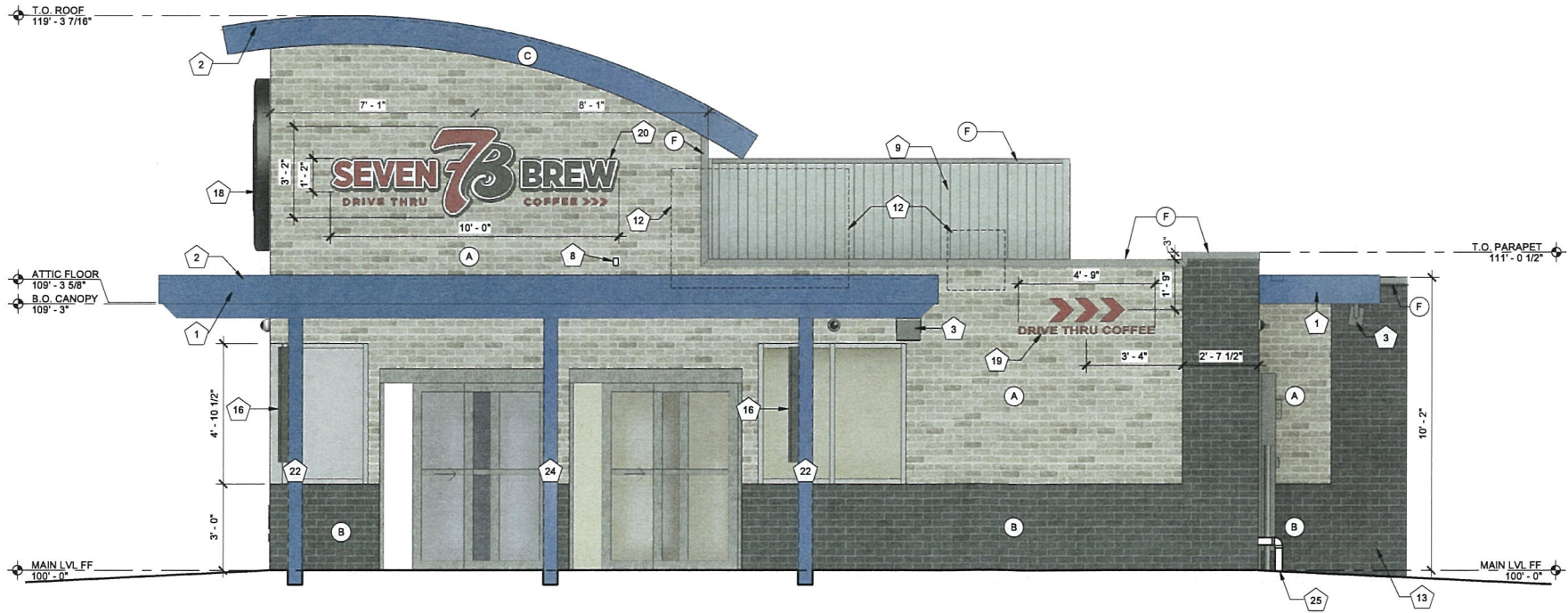
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EXTERIOR ELEVATIONS

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1 EXTERIOR ELEVATION - NORTH
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
H	PAINT DOOR TO MATCH COLOR OF SURROUNDING RBK-2

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
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7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR; CLAD W MP-1
10	KNOX BOX
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
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24	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
25	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL



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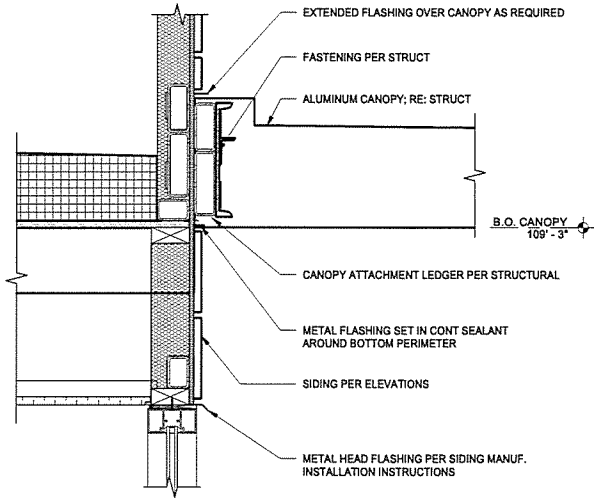
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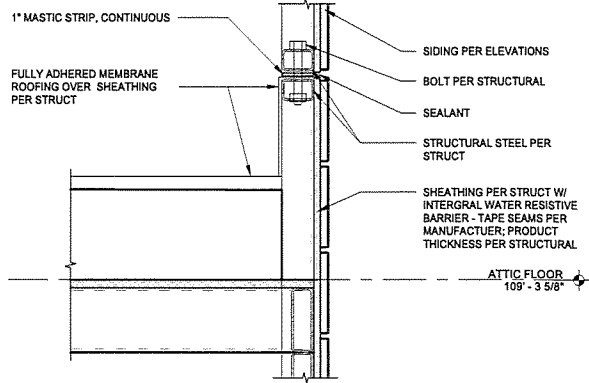
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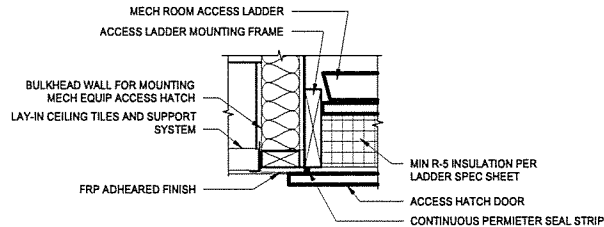
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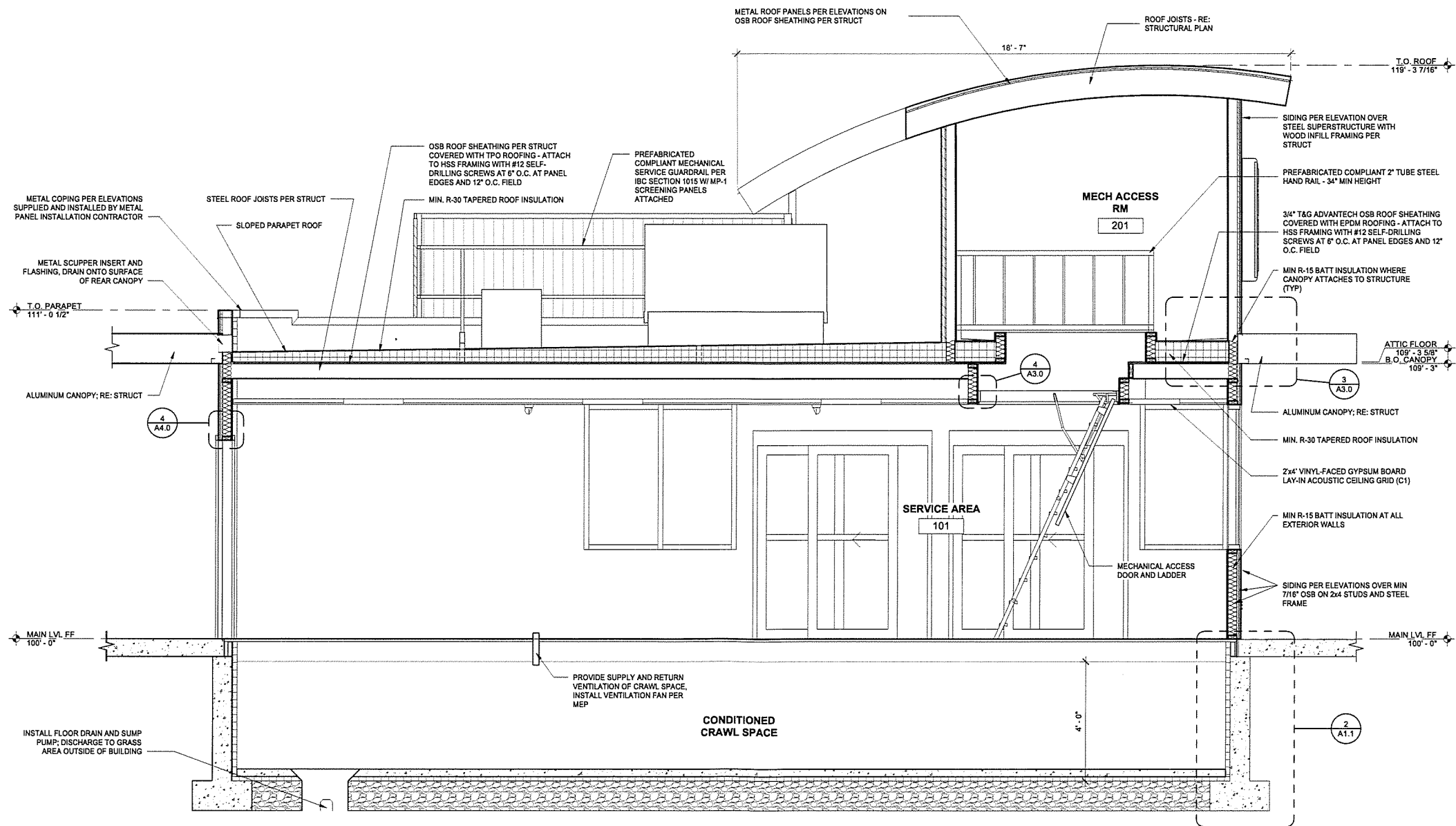
2 CANOPY CONNECTION
1 1/2" = 1'-0"



3 CONNECTION AT BASE/TOP
1 1/2" = 1'-0"



4 MECH ACCESS HATCH CONNECTION
1 1/2" = 1'-0"



1 BUILDING SECTION
1/2" = 1'-0"



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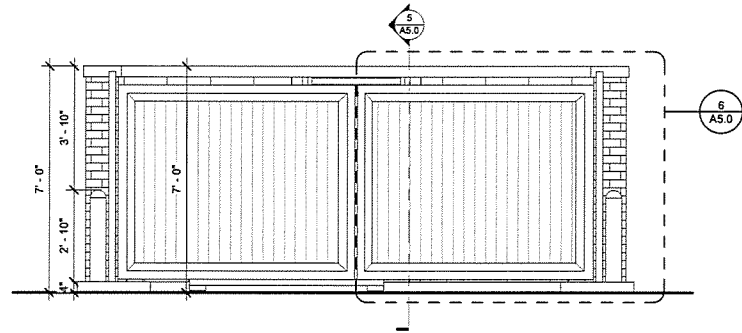
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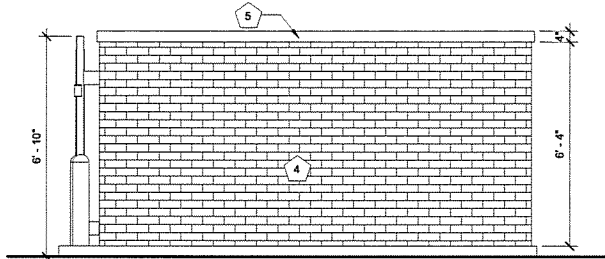
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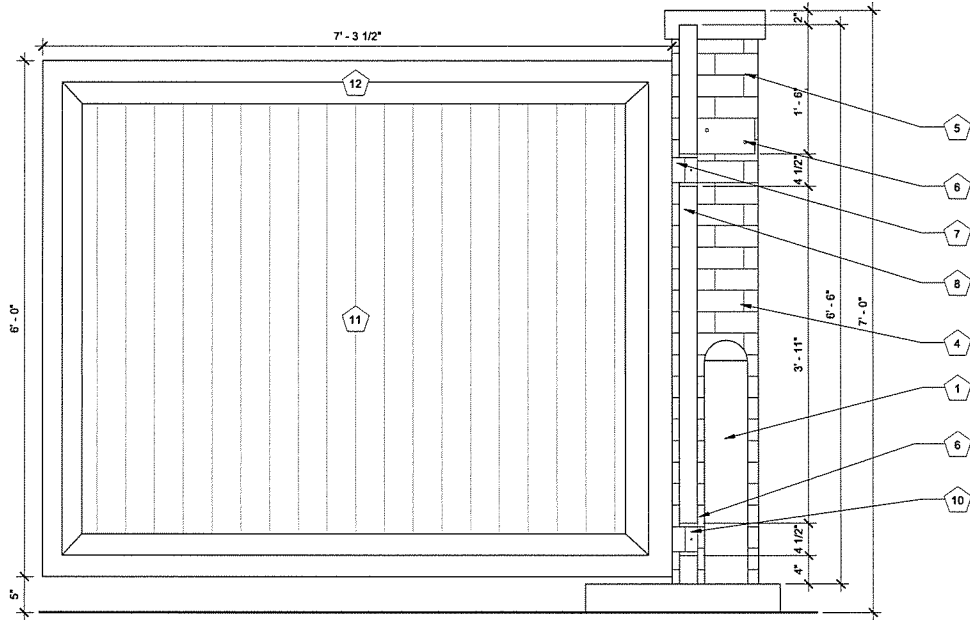


3 TRASH ENCLOSURE - FRONT ELEVATION
3/8" = 1'-0"

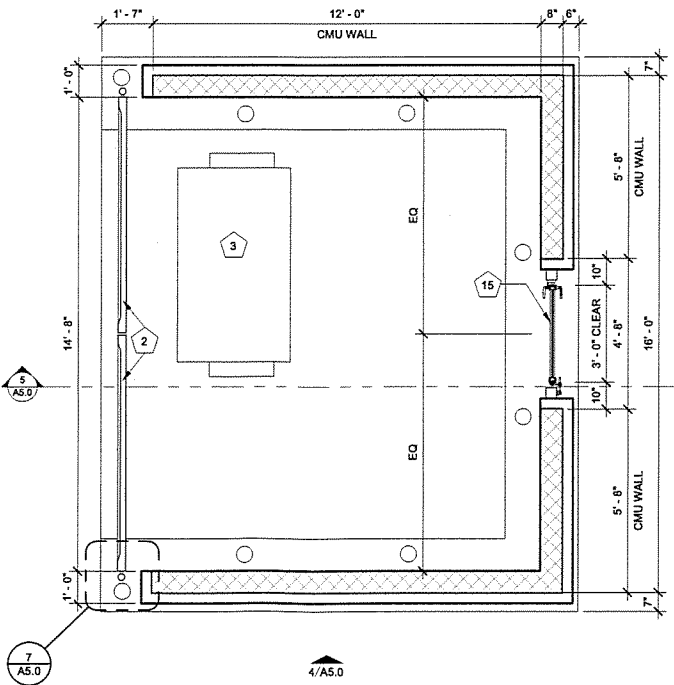
4 TRASH ENCLOSURE - SIDE ELEVATION
3/8" = 1'-0"



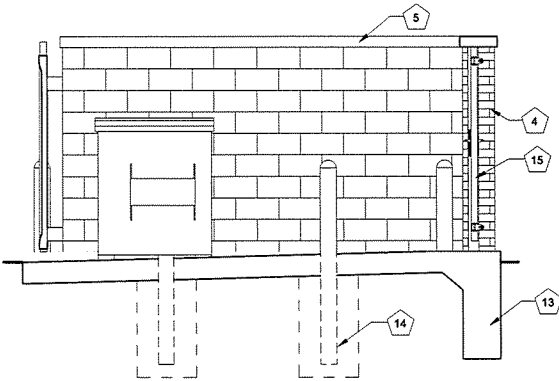
6 DOOR / HINGE DETAIL
1" = 1'-0"



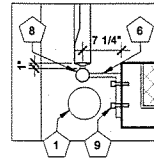
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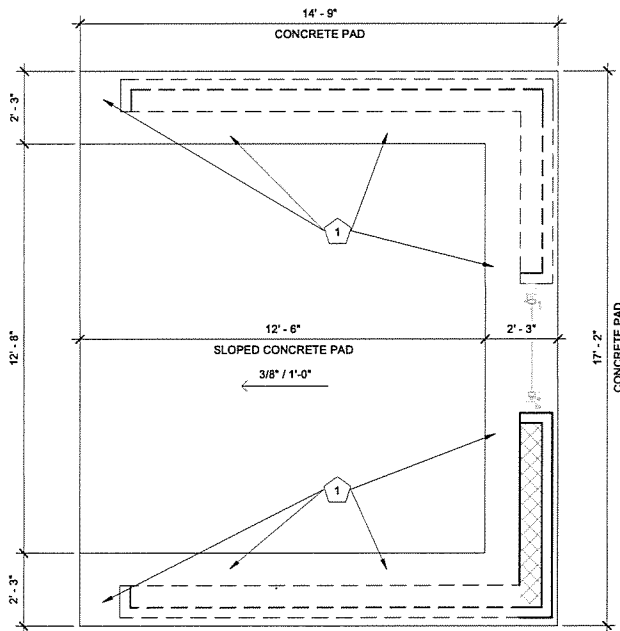
2 TRASH ENCLOSURE PLAN
3/8" = 1'-0"



5 SECTION THRU TRASH ENCLOSURE
3/8" = 1'-0"



7 TRASH ENCLOSURE PLAN DETAIL
3/4" = 1'-0"



1 TRASH ENCLOSURE - CONCRETE PLAN
3/8" = 1'-0"

TRASH ENCLOSURE GENERAL NOTES

- PRE-PAINT ALL BARE METAL WITH POR-15 PRIMER PRIOR TO INSTALLATION.
- PAINT DOOR FRAMES, HINGES, AND BOLLARDS TO MATCH THE CANOPY OF THE PREFABRICATED BUILDING - MORIN REGAL BLUE.

TRASH ENCLOSURE KEYNOTES

Note Number	Note Text
1	Ø6" CONCRETE FILLED BOLLARD - TYP. OF (8); REF CIVIL
2	CUSTOM GATES: SEE 6/A5.0
3	TRASH DUMPSTER ON WHEELS: SUPPLIED BY OWNER
4	BRICK OVER 8" CMU BLOCK
5	4" MASONRY CAP ON TOP OF CMU WALL
6	5" PLATE STEEL BRACE WELDED TO CENTER OF 2" POST; SEE 6/A5.0 FOR HEIGHT
7	3" STEEL BRACE AT EACH HINGE
8	Ø2" STEEL POST
9	2 1/2" BOLTS
10	HINGE WITH GREASE FITTING - TYP. OF 2 PER DOOR
11	1x8 STAINED CEDAR PLANKS
12	3" x 3" TUBE STEEL FRAME ROTATED 45 DEGREES
13	REF STRUCTURAL FOR FOUNDATION DESIGN
14	REF CIVIL FOR BOLLARD & BOLLARD FOUNDATION DESIGN
15	3'-0" PEDESTRIAN GATE

MODULAR BRICK

BRAND: SIOUX CITY BRICK
COLOR: GRANITE RED
FINISH: VELOUR