



CITY OF VALPARAISO

166 Lincolnway
Valparaiso, IN 46383
(219) 462-1161

Valpo.us

Kyle Yelton, **President**

Citizen Member
appointed by Mayor
also on Plan Commission

James Bilder

Citizen Member
appointed by Mayor
not on Plan Commission

Paul Reed, **Vice President**

Citizen Member
appointed by Mayor
not on Plan Commission

Hannah Trueblood

Citizen Member
appointed by City Council and not
on Plan Commission

Diane Worstell

Citizen Member
appointed by Plan Commission
from its membership

As a quasi-judicial board,
board members may not be
contacted about any petition
on this agenda or that which
may appear on a future
agenda. Direct any
comments/questions to the
Planning Department.

STAFF

Bob Thompson,
Executive Secretary

Patrick Lyp,
Attorney

Valparaiso Board of Zoning Appeals Meeting Agenda

Tuesday, February 18, 2025, 5:30 p.m. CST
City Hall, 166 Lincolnway, Valparaiso, IN 46383
Council Chambers

1. Call to Order
2. Pledge of Allegiance
3. Roll Call and Declaration of a Quorum
4. Consideration of Minutes of the previous meeting(s)
 - January 21, 2025
5. Old Business and Matters Tabled
6. New Business

VAR24-015 (Public Hearing)

A petition filed by Gene Lane (Owner). The property is located at 2504 Sears Street (Zoning Classification: GR General Residential). The petitioner requests the following variances from the Valparaiso Unified Development Ordinance (UDO), pertaining to a four-seasons room to the north side of the home:

- From Section 3.501 to encroach approximately 10ft into 25ft rear yard setback (per plan);
- From 13.304(c) to increase the extent of nonconformity (existing home encroaches approximately 17ft into 25ft rear yard setback).

VAR25-002 (Public Hearing)

A petition filed by Leeth Law LLC (Counsel) for Family Express Corporation (Owner). The property is located at 3750 State Road 49 (Zoning Classification: INL Light Industrial). The petitioner requests the following variances from the Valparaiso Unified Development Ordinance (UDO), pertaining to construction of a Family Express gas station and convenience store:

- From Section 11.304(M) and Table 9.401 to allow access with reciprocal cross-easements (per submittal) instead of access road (frontage street or reverse frontage street);
- From 11.502 to reduce projection/recess architectural features requirement to that shown in submittal;
- From 11.506 to reduce transparency (fenestration) architectural requirement to that shown in submittal;
- From 11.508 to reduce roof line architectural requirement to that shown in submittal;
- From Article 10 Landscaping in the following ways:
 - State Road 49 Class D Bufferyard: to eliminate 5ft berm requirement, reduce 65% opacity requirement, and reduce lowest level plant prescription by half (see working copy of landscape plan provided)
 - Division Road Class D Street Buffer: to eliminate 5ft berm requirement, reduce 65% opacity requirement, and reduce

lowest level plant prescription by half (see working copy of landscape plan provided)

7. Other Business

8. Staff Items

- All appointments/reappointments are not yet available. Election of officers and appointment of staff will take place at next regular meeting.
- Draft update to Rules and Procedures will be provided in next regular meeting packet for consideration at next regular meeting.

9. Adjournment

Next scheduled meeting: Tuesday, March 18, 2025, 5:30 p.m.

The agenda packet will be posted on the city's website (Valpo.us) approximately one week prior to the meeting. Interested persons desiring to participate in the public hearing process for a petition on the agenda may attend in person or submit written comments (with name, address, and email address/telephone number) to the Planning Department prior to the hearing date (planningdepartment@valpo.us or City Hall address provided above). For questions about a petition or about the meeting in general, contact the Planning Department at planningdepartment@valpo.us, (219) 462-1161, or visit City Hall. The meeting will be livestreamed on the city's website. A recording of the meeting will be posted on the city's website, and meeting minutes will be posted on the city's website once approved.

PETITION TO VALPARAISO BOARD OF ZONING APPEALS:

This application is being submitted for (Check all that apply):

- ☐ Use Variance
☒ Development Standards Variance
☐ Special Exception/Special Use
☐ Relief to Administrative Decision
☐ Conditional Use
☐ Wireless Communications Facility

For Office Use Only:

Petition #: VAR24-015

Application Type: DEV. STANDARDS V

Application Filing Fee: \$50.00

Date Filed: 11 / 15 / 2024

Meeting: ~~12 / 17 / 2024~~

02 / 18 / 2025

Meeting: February

SUBJECT PROPERTY INFORMATION

TYPE OR PRINT IN INK

Property Address:

2504 Sears Street, Valparaiso IN 46383

Subject property fronts on the Sears Street

side between (streets) Sears Street

& Appletree Lane

Zoning District: GR General Residential

PETITIONER INFORMATION

Applicant Name:

Gene Lane

Address:

2504 Sears Street, Valparaiso IN 46383

Phone:

219-405-8599

Email:

lane@iccmechanical.com

PROPERTY OWNER INFORMATION

Applicant Name:

Gene Lane

Address:

2504 Sears Street, Valparaiso IN 46383

Phone:

219-405-8599

Email:

lane@iccmechanical.com

SECTIONS OF UDO FROM WHICH A VARIANCE, SPECIAL EXCEPTION OR ADMIN RELIEF IS SOUGHT:

Article: _____ Section: 3.501 Paragraph: _____ Item: _____

Article: _____ Section: 13.304 (c) Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

LEGAL DESCRIPTION OF SUBJECT PROPERTY: (OR EXHIBIT NO. _____)

Lot #5 in Northcrest

DESCRIPTION OF PROPOSED PROJECT: (OR EXHIBIT NO. _____)

Gene Lane is proposing to build a 19' x 16' Four Seasons room extending north from the north east corner of the existing home. This addition will be a single story constructed of architecture and materials similar to the existing home. Addition will be built to standards that are conducive to year round occupancy. Snow melt or Rainfall off of gutters on new addition will be piped underground through the existing 4" underground line to the front yard.

Variance from Development Standards
Petitioner's Proposed Findings of Fact
(Please use fillable pdf, print neatly, or attach printed document.)

Petitioner submits that:

- A. The proposed variance from the Development Standards will not be injurious to the public health, safety, morals, and general welfare of the community because:

This proposed addition will not be accessible to the public. We have addressed the issue of water run off previously in this application. At the completion of the addition only 3,680 sq. ft. of the 11,500 square foot lot will be covered. This is less than 32% with codes allowing up to 50% lot coverage.

- B. The use and value of the area adjacent to the property included in the proposed variance will not be affected in a substantially adverse manner because:

Attached to this application is a picture of the house as it was purchased by Gene Lane in 2015. Since then he has made thousands of dollars in upgrades that brings this house up to the standard of housing in the neighborhood. This addition should in no way be adverse to the other property values in the neighborhood. It should only increase it. Also attached is a current photo of the house as it stands today. As Gene has made property improvements, he has always tried to comply with city codes by obtaining permits where required.

This will not materially disrupt adjacent properties as the back yard and the side yard to this property is covered by a 6 foot wooden fence.

- C. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the property included in the proposed variance because:

The front of this house including the front door face Sears Street. The back of the house including the back door is less than 9 feet from the back property line. The back property line faces the side of the house at 251 Appletree Lane. The north side of my house, where I am proposing the sunroom addition, is over 35 feet from my lot line. The way I read the city ordinance that applies to my lot, I can build within 6 feet of the lot line. As I understand it, the side yard is being interpreted as the rear yard, which requires a 25 foot set back. I understand that the house is non-conforming to present day building standards, but since the house was built in the mid-60's I feel this should not be an issue. Due to the layout of the house, this is the only practical location that I can place the room. To move it west to the front of the house, allowing for the 25 ft rear yard setback this will place the room addition off one of the bedrooms. (Sketch Attached). This would meet the backyard setback requirement but not be feasible in this case.

The petitioner carries the burden of proving to the Board of Zoning Appeals the existence of each and every one of the elements listed above.

SEARS STREET
(50' R/W)

CONCRETE CURB

N 00°00'00" E ~120.71'

CONCRETE WALK

SIB

R=20.00'

31.42'

25' BUILDING LINE

1 STORY
STONE & FRAME

14.2'

6.0'

30.6'

26.0'

32.6'±

ASPHALT DRIVE

32.6'±

SMN

CONCRETE WALK

CONCRETE CURB

N 90°00'00" E ~61.60'

APPLETREE LANE
(50' R/W)

FIP
1" DIAMETER
0.3' BELOW GRADE
0.51' N. & 0.10' W.

8' UTILITY EASEMENT

N 90°00'00" E ~81.60'

12' EASEMENT

LOT 5
(2504)

LOT AREA=
11,396 sq. ft. 0.26 acres +/-

24.8'±

24.9'±

24.8'

26.00'

48.0'

8.8'±

43.5'

8.6'±

25' BUILDING LINE

32.6'±

32.6'±

CONCRETE WALK

CONCRETE CURB

N 90°00'00" E ~61.60'

CORNER OF
4' CHAIN LINK FENCE
0.1'± N. & 0.1'± W.

CORNER OF
6' WOOD FENCE
0.5'± S. & 0.1'± E.

N 9

CORNER OF
6' CHAIN LINK FENCE
1.2'± W.

JAMES B. FIE
P.
64-09-13

S 00°00'00" E ~140.71'

CORNER OF
6' CHAIN LINK FENCE
0.3'± W.

25' BUILDING LINE

32.6'±

32.6'±

CONCRETE WALK

CONCRETE CURB

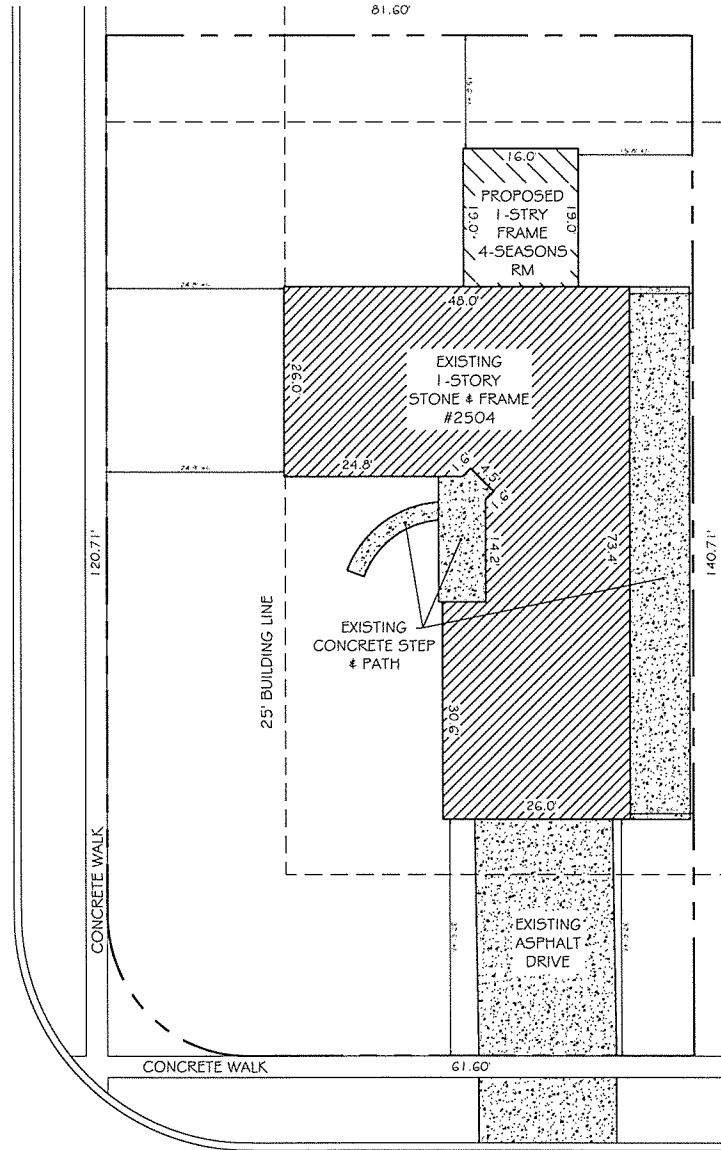
N 90°00'00" E ~61.60'

3/4" DIAMETER
FOUND AT GRADE
0.19' N. & ON LINE

SITE PLAN
SF: 304



SEARS STREET



APPLETREE LANE

AREA OF LOT COVERAGE (STRUCTURES):	
TOTAL LOT AREA =	11,396 SF
EXISTING HOUSE =	2,376 SF
EXISTING OPEN AREA =	9,020 SF
PROPOSED 4 SEASONS RM =	304 SF
PROPOSED OPEN AREA =	8,716 SF

2504 SEARS STREET
VALPARAISO, IN

FOUR SEASONS
ROOM ADDITION

SCALE
1/8" = 1'-0"

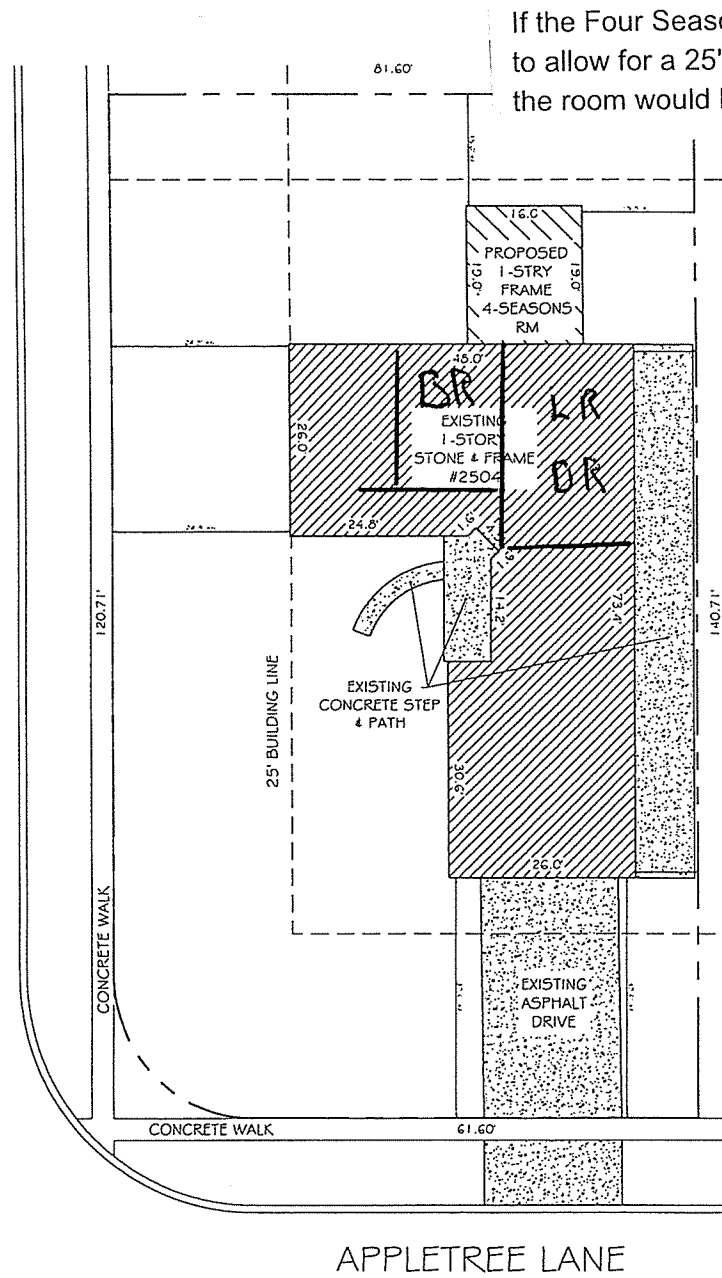
REV. / SUB.
2024.09.20

SHEET
1/TBD

SITE PLAN
SF: 304



SEARS STREET



APPLETREE LANE

If the Four Season room were moved to the front to allow for a 25' setback from the back property line, the room would be off bedroom not living room.

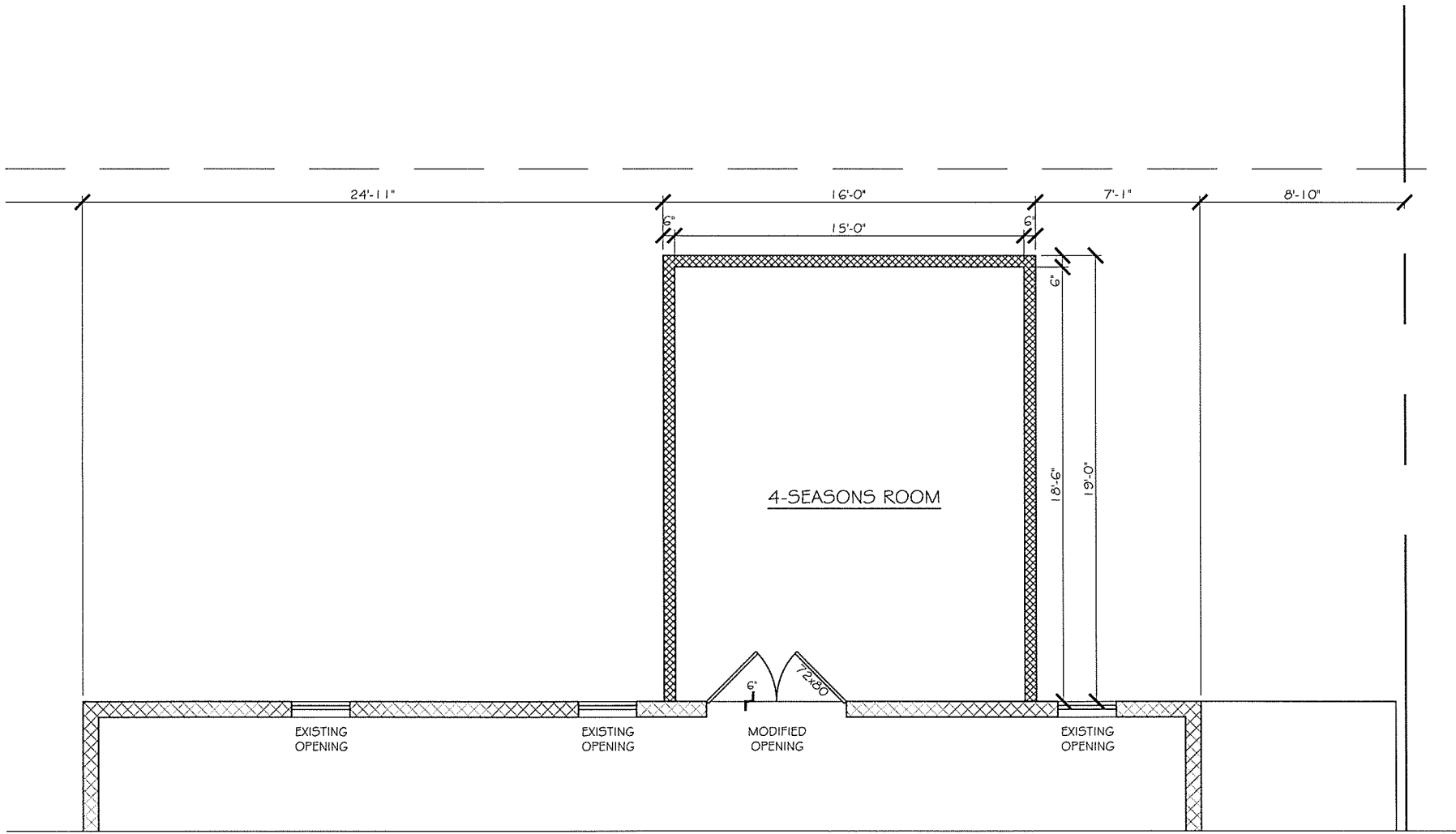
AREA OF LOT COVERAGE (STRUCTURES):	
TOTAL LOT AREA =	11,326 SF
EXISTING HOUSE =	2,376 SF
EXISTING OPEN AREA =	9,020 SF
PROPOSED 4 SEASONS RM =	304 SF
PROPOSED OPEN AREA =	8,716 SF

2504 SEARS STREET
VALPARAISO, IN

FOUR SEASONS
ROOM ADDITION

SCALE
1/8" = 1'-0"

REV. / SUB.
2024.09.20
SHEET
1/7BD



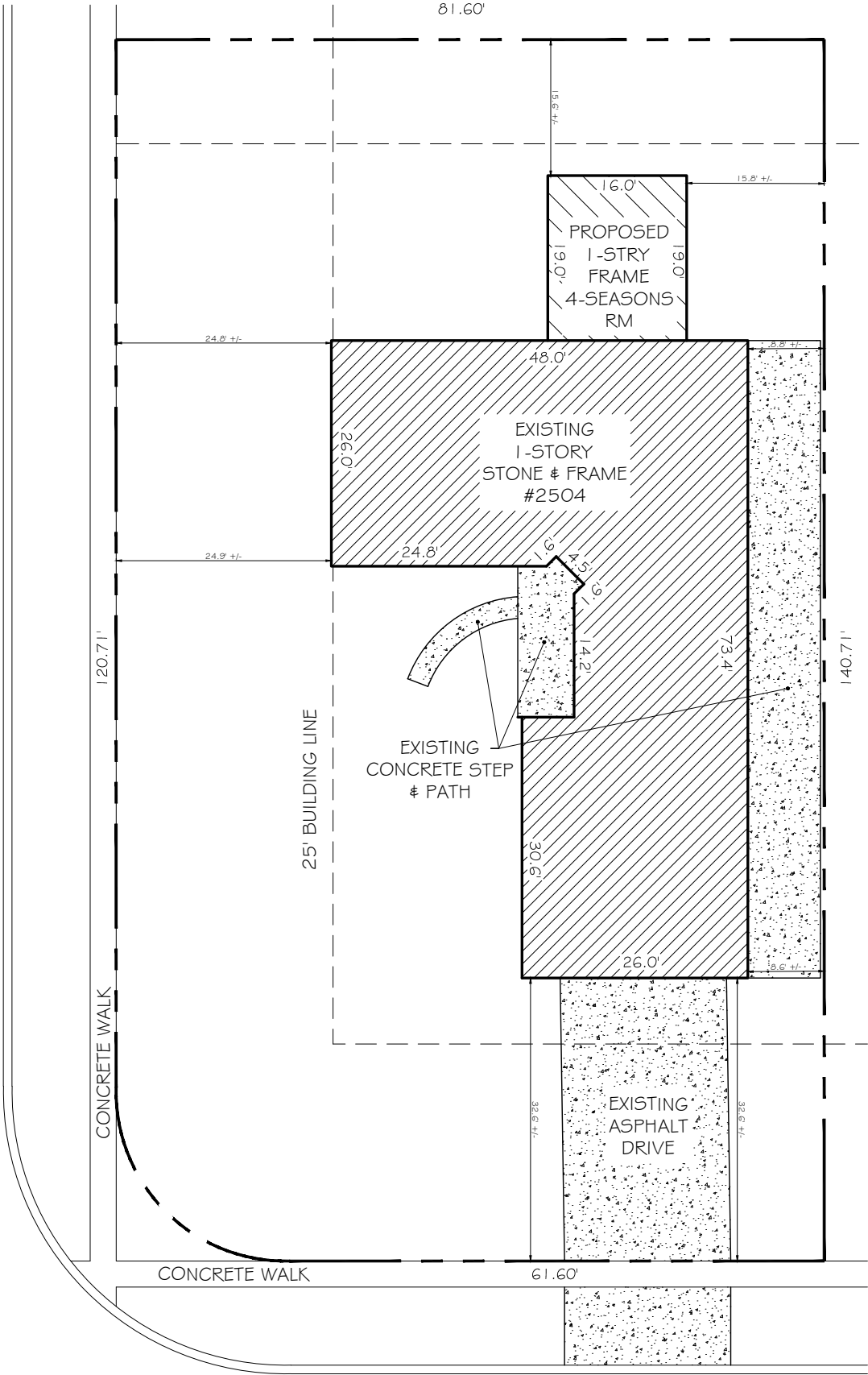
1ST FLOOR - PROPOSED FOUR-SEASONS ROOM
SF: 304

 PROPOSED
 EXISTING

SITE PLAN
SF: 304



SEARS STREET



AREA OF LOT COVERAGE (STRUCTURES):
TOTAL LOT AREA = 11,396 SF
EXISTING HOUSE = 2,376 SF
EXISTING OPEN AREA = 9,020 SF

PROPOSED 4 SEASONS RM = 304 SF
PROPOSED OPEN AREA = 8,716 SF

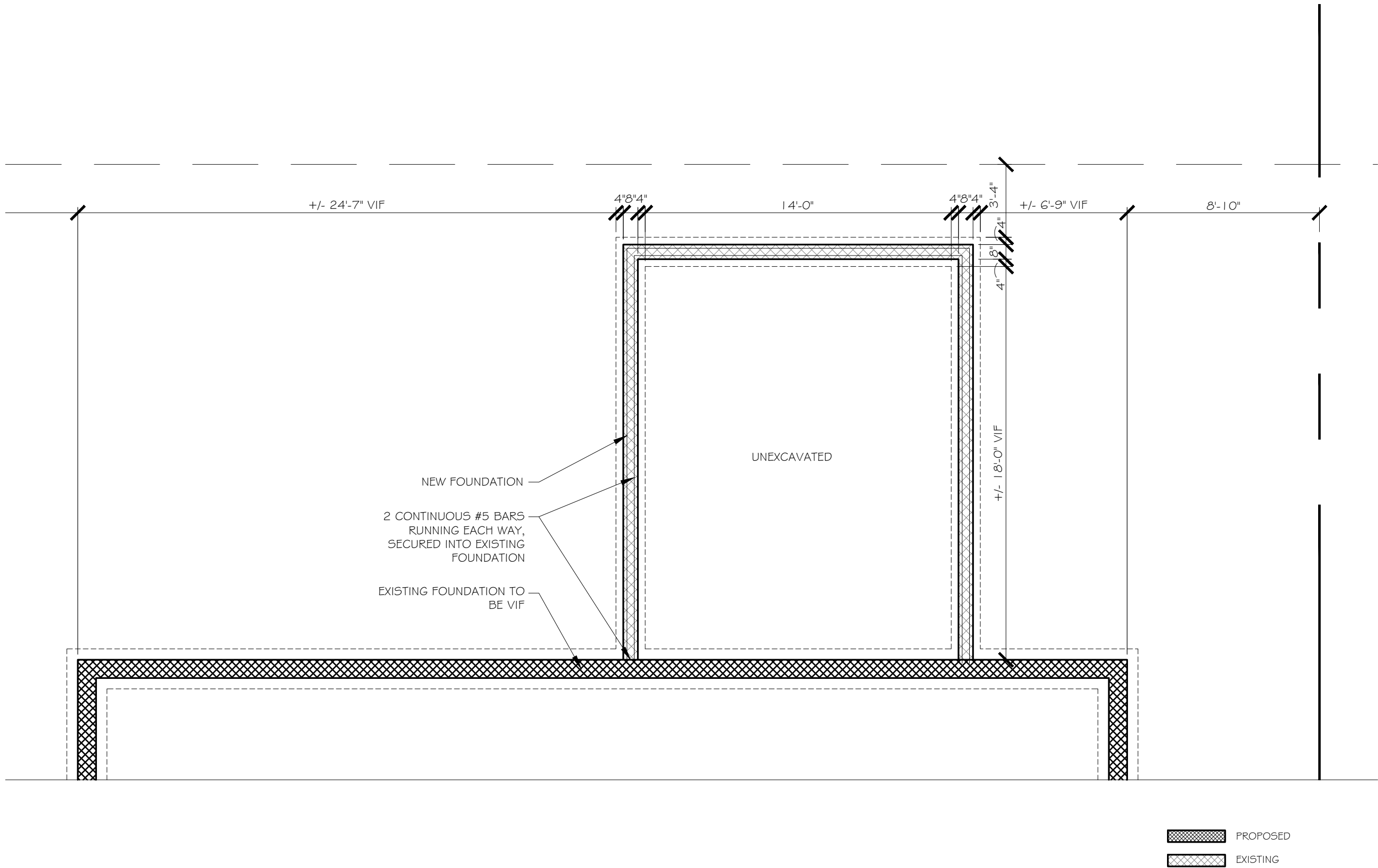
2504 SEARS STREET
VALPARAISO, IN

FOUR SEASONS
ROOM ADDITION

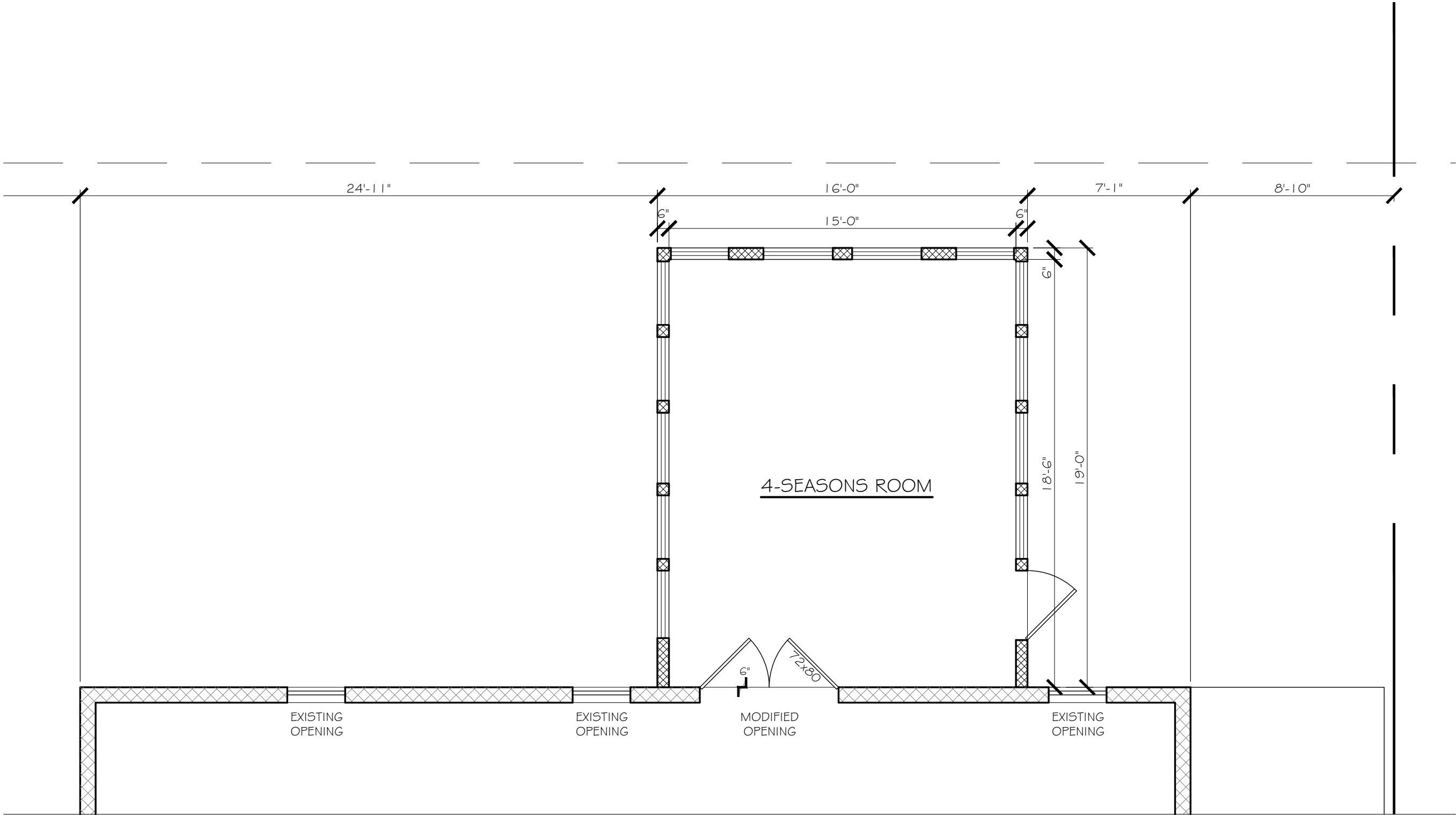
SCALE
1/8" = 1'-0"

REV. / SUB.
2024.09.20
2025.01.15

SHEET
1/4



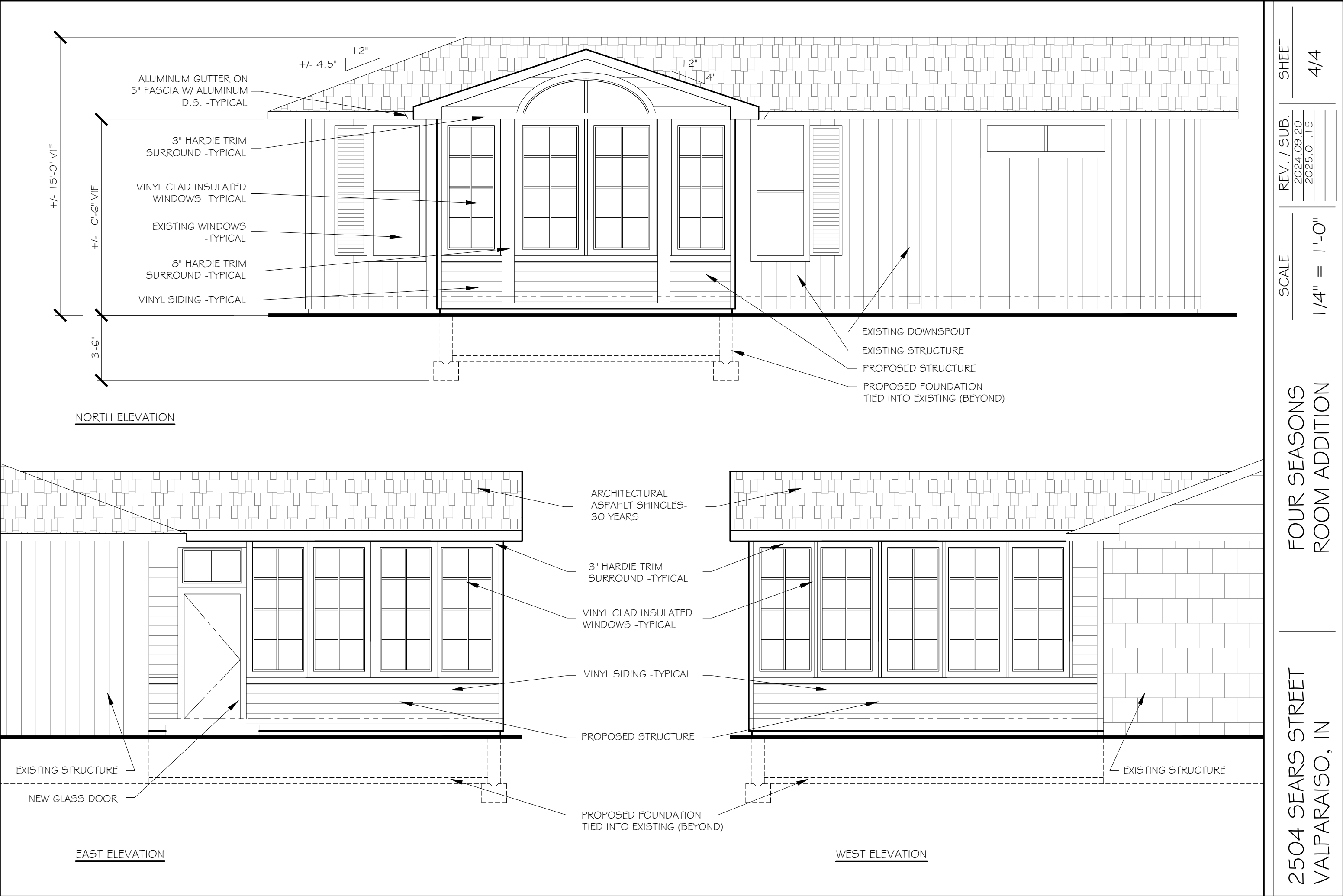
1ST FLOOR - PROPOSED FOUR-SEASONS FOUNDATION PLAN
SF: 304



1ST FLOOR - PROPOSED FOUR-SEASONS ROOM
SF: 304

PROPOSED
EXISTING

2504 SEARS STREET VALPARAISO, IN	FOUR SEASONS ROOM ADDITION	SCALE 1/4" = 1'-0"	REV. / SUB.	SHEET
			2024.09.20	3/4
			2025.01.15	



PETITION TO VALPARAISO BOARD OF ZONING APPEALS:

This application is being submitted for (Check all that apply)

- ☐ Use Variance
☒ Development Standards Variance
☐ Special Exception/Special Use
☐ Relief to Administrative Decision
☐ Conditional Use
☐ Wireless Communication Facility

For Office Use Only:

Petition #: VAR 25-002
Application Type: Dev. STANDARDS VAR
Application Filing Fee: \$150
Date Filed: 1 / 17 / 2025
Meeting: 2 / 18 / 2025

SUBJECT PROPERTY INFORMATION**TYPE OR PRINT IN INK**

Property Address

Subject property fronts on the South

Southwest corner of Division and St. Rd. 49

side between (streets) S.R. 49& Sturdy RoadZoning District: INL-Light Industrial**PETITIONER INFORMATION**

Applicant Name:

Address:

Family Express Corporation

c/o Todd A. Leeth
Leeth Law LLC
2700 Valparaiso Street, #2412
Valparaiso, Indiana 46384

Phone:

219-250-6501

Email:

todd@leeth.law**PROPERTY OWNER INFORMATION**

Applicant Name:

Address:

Same as Applicant

Phone:

Email:

SECTIONS OF UDO FROM WHICH A VARIANCE, SPECIAL EXCEPTION OR ADMIN RELIEF IS SOUGHT: See Attached List

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

Article: _____ Section: _____ Paragraph: _____ Item: _____

LEGAL DESCRIPTION OF SUBJECT PROPERTY: (OR EXHIBIT NO: _____)

See Attached Exhibit A - Legal Description

DESCRIPTION OF PROPOSED PROJECT: (OR EXHIBIT NO. _____)

CITY OF VALPARAISO BOARD OF ZONING APPEALS

DEVELOPMENT STANDARD VARIANCE REQUESTS SECOND AMENDMENT February 12, 2025

**Family Express Corporation
Southwest Corner – Division Road & Hwy 49**

Access Management Regulations	Table §9.401
State Road 49 Standards Access Road	§11.304(M)
Code:	Frontage street or reverse frontage street shall be provided to connect to abutting parcels. Required for all commercial zoned parcels to State Road 49. “Access Road” is not defined.
Proposed:	Reciprocal cross-easements. Access to Hwy 49 determined with collaboration with INDOT.
Non-Residential Design Standards Architectural Features	§11.502
Code:	Projections or recesses on all exterior elevation building walls.
Proposed:	No projections or recesses are provided on either side elevations or on the rear elevation.
Transparency	§11.506
Code:	60% along Primary Façade 30% along Other Street Façade [Between 3 and 8 feet above finish grade]
Proposed:	49% along Primary Façade 7% along Other Street Façade

Non-Residential Development Standards
Roof Structure Materials

§11.508

Code: Roof lines shall be designed ...

- a. Break up the apparent mass of the building;
- b. Highlight individual components of the building;
- c. Add visual interest to the building; and
- d. Form a cascade, wherein the highest points of the roof cover the area of the primary use or most significant floor area of the building.

Proposed: See architectural rendering

Landscaping

Bufferyard

Table §10.402

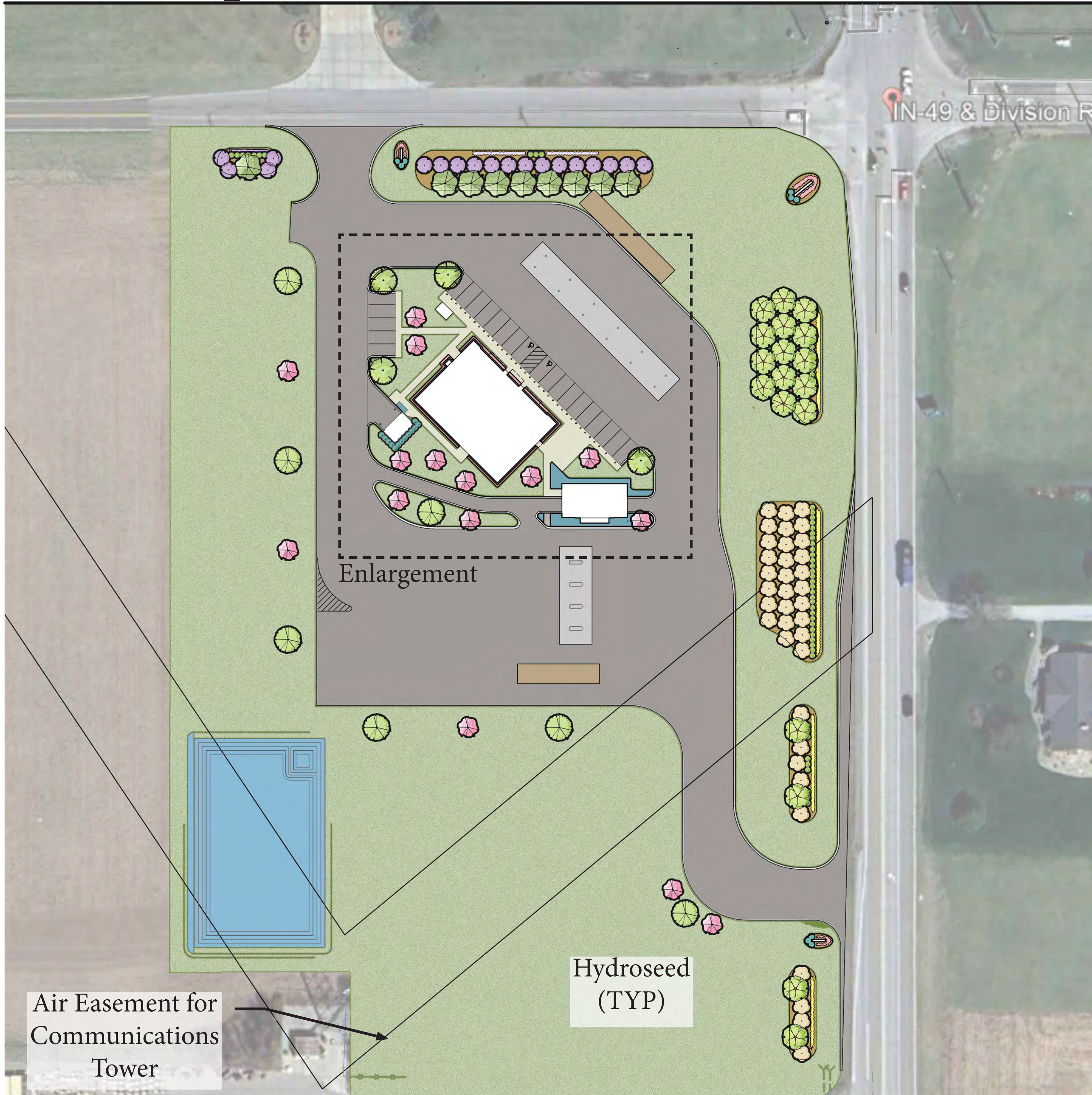
Code: Class D Bufferyard Requirements:

- 5' berm
- Plantings per lineal feet for 65% opacity
- Shrub plantings

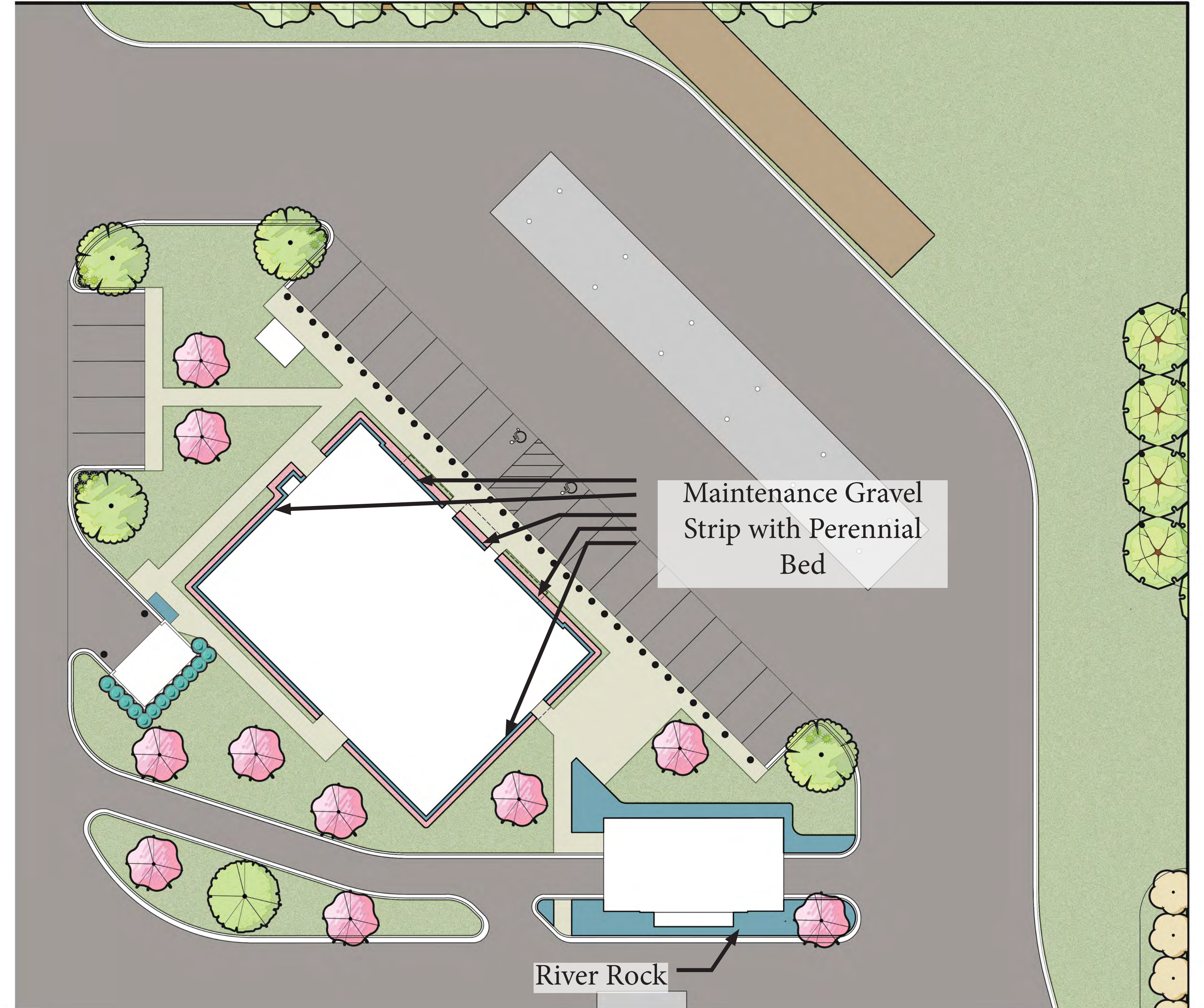
Proposed:

- No berm
- Plantings clustered to allow visual corridors.
- Reduction in number of shrub plantings

Landscape Plan

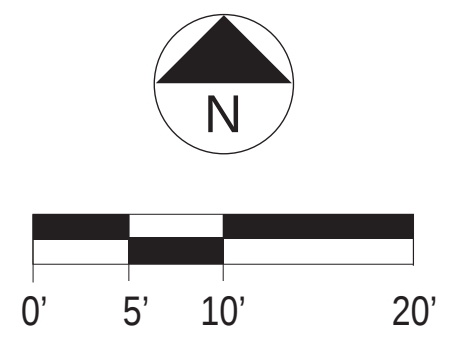
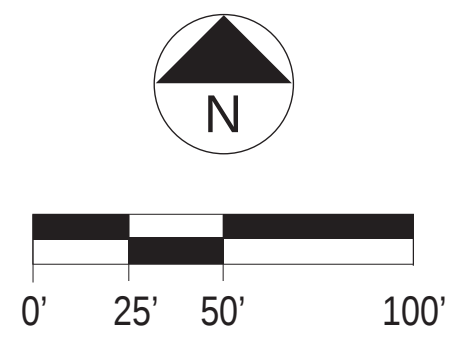


Enlargement



Notes:

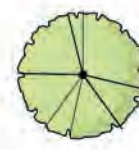
- 1.) See L101 for Plant Schedule and Details
- 2.) See L101 for Sign Supporting Imagery Renderings



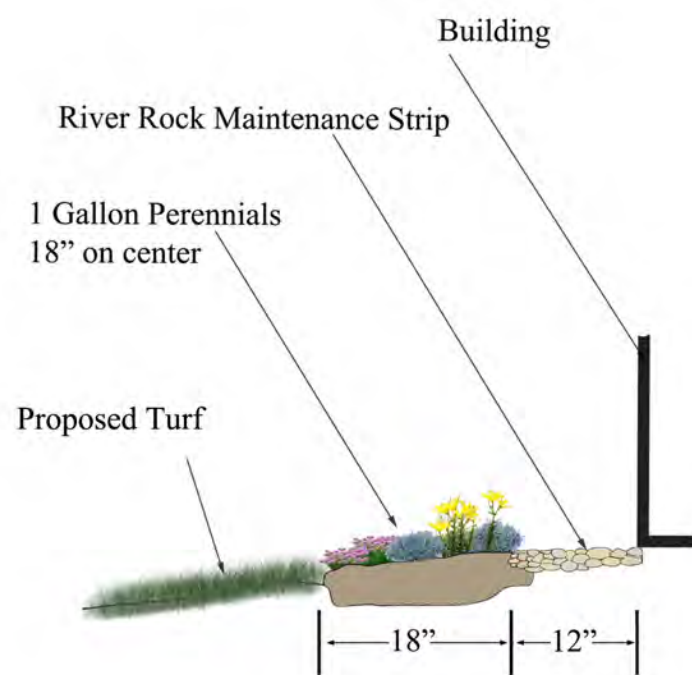
L100  **Lakeshore**
Ideas · Energy · Service

Family Express, Division Road and S.R. 49, Valparaiso, IN

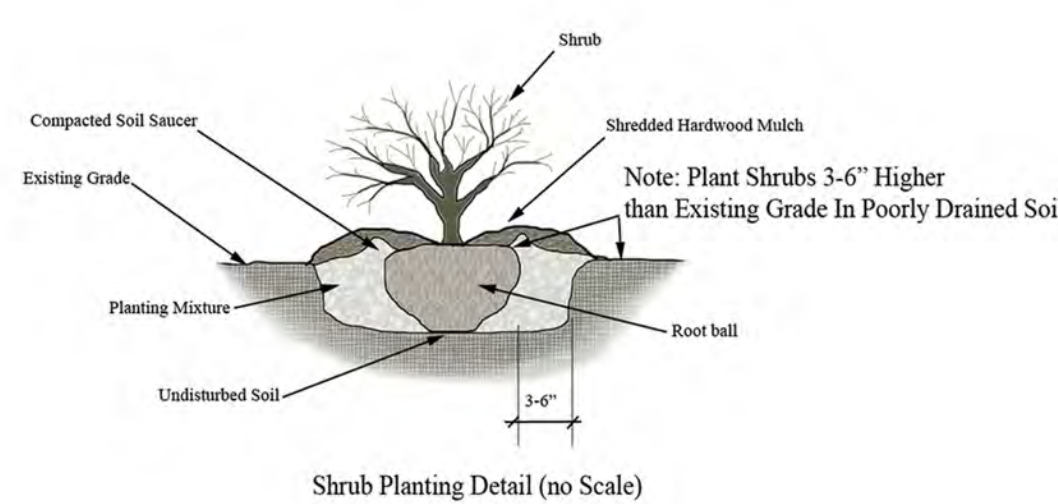
Plant Schedule

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
TREES							
DIVISION ROAD BUFFERYARD TREES							
	CEL2	Celtis occidentalis	Common Hackberry	2.5" Cal.	B&B	9	
	GYM2	Gymnocladus dioica	Kentucky Coffeetree	2.5" Cal.	B&B		
	NYS2	Nyssa sylvatica	Tupelo	2.5" Cal.	B&B		
	QBC3	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B		
	QMB	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	B&B		
	ULM	Ulmus americana	American Elm	2.5" Cal.	B&B		
ON LOT SHADE TREES							
	AGL	Aesculus glabra	Ohio Buckeye	2.5" Cal.	B&B	7	
	NYS	Nyssa sylvatica	Tupelo	2.5" Cal.	B&B		
	QBC	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B		
	TDS2	Taxodium distichum	Bald Cypress	5-8'	B&B		
	TIL	Tilia americana	American Linden	2.5" Cal.	B&B		
ON LOT ORNAMENTAL TREES							
	AAM	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	1.5" Cal.	B&B	15	
	CCM	Cercis canadensis	Eastern Redbud Multi-trunk	1.5" Cal.	B&B		
	MAL3	Malus augustifolia	Crabapple	1.5" Cal.	B&B		
PARKING LOT SHADE TREES							
	GLE2	Gleditsia triacanthos	Honey Locust	2.5" Cal.	B&B	4	
	GYM3	Gymnocladus dioica	Kentucky Coffeetree	2.5" Cal.	B&B		
SR 49 BUFFERYARD SHADE TREES							
	CEL2	Celtis occidentalis	Common Hackberry	2.5" Cal.	B&B	18	
	GYM2	Gymnocladus dioica	Kentucky Coffeetree	2.5" Cal.	B&B		
	NYS2	Nyssa sylvatica	Tupelo	2.5" Cal.	B&B		
	QBC3	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B		
	QMB	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	B&B		
	ULM	Ulmus americana	American Elm	2.5" Cal.	B&B		
SR 49 BUFFERYARD ORNAMENTAL TREES							
	AAM	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	1.5" Cal.	B&B	36	
	CCA	Carpinus caroliniana	American Hornbeam	1.5" Cal.	B&B		
	OST	Ostrya virginiana	American Hophornbeam	1.5" Cal.	B&B		
DIVISION ROAD BUFFERYARD ORNAMENTAL TREES							
	AAM	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	1.5" Cal.	B&B	18	
	CRA	Crataegus phaenopyrum	Washington Hawthorn	1.5" Cal.	B&B		
	OST	Ostrya virginiana	American Hophornbeam	1.5" Cal.	B&B		
SHRUBS							
SR 49 BUFFERYARD SHRUBS							
	ABC	Aronia melanocarpa	Low Scape Hedger Black Chokeberry	3 gal.	Pot	52	
	IBP3	Ilex verticillata 'Berry Poppins'	Berry Poppins Winterberry	3 gal.	Pot		
	IMP3	Ilex verticillata 'Mr. Poppins'	Mr. Poppins Winterberry	3 gal.	Pot		
PARKING LOT GRASSES							
	SPO	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot	12	
DIVISION ROAD BUFFERYARD SHRUBS							
	ABC	Aronia melanocarpa	Low Scape Hedger Black Chokeberry	3 gal.	Pot	10	
	IBP3	Ilex verticillata 'Berry Poppins'	Berry Poppins Winterberry	3 gal.	Pot		
	IMP3	Ilex verticillata 'Mr. Poppins'	Mr. Poppins Winterberry	3 gal.	Pot		
WASTE ENCLOSURE SCREENING SHRUBS							
	ABC	Aronia melanocarpa	Low Scape Hedger Black Chokeberry	3 gal.	Pot	13	
SIGN SHRUBS							
	JUN HOR	Juniperus horizontalis	Creeping Juniper	---	---	9	
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
GROUND COVERS							
PERENNIALS							
	ALM	Allium x 'Millenium'	Millenium Ornamental Onion	1 gal.	Pot	10% @ 18" o.c.	31
	BAP	Baptisia australis	Blue Wild Indigo	1 gal.	Pot	28% @ 48" o.c.	13
	HSO	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot	12% @ 24" o.c.	21
	HGC	Hosta x 'Guacamole'	Guacamole Hosta	1 gal.	Pot	10% @ 24" o.c.	18
	HRS	Hosta x 'Royal Standard'	Royal Standard Hosta	1 gal.	Pot	10% @ 24" o.c.	18
	NWL	Nepeta racemosa 'Walker's Low'	Catmint	1 gal.	Pot	30% @ 30" o.c.	35
SR 49 BUFFERYARD PERENNIALS AND GRASSES							
	ALM2	Allium x 'Millenium'	Millenium Ornamental Onion	1 gal.	Pot	20% @ 18" o.c.	51
	EMD	Echinacea purpurea 'Pixie Meadowbrite'	Pixie Meadowbrite Coneflower	1 gal.	Pot	20% @ 18" o.c.	51
	HSO2	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot	20% @ 18" o.c.	51
	RUD	Rudbeckia x 'Glitters Like Gold'	Glitters Like Gold Coneflower	1 gal.	Pot	20% @ 18" o.c.	51
	SHE	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot	20% @ 18" o.c.	51
DIVISION ROAD BUFFERYARD PERENNIALS AND GRASSES							
	ALM2	Allium x 'Millenium'	Millenium Ornamental Onion	1 gal.	Pot	20% @ 18" o.c.	28
	EMD	Echinacea purpurea 'Pixie Meadowbrite'	Pixie Meadowbrite Coneflower	1 gal.	Pot	20% @ 18" o.c.	28
	HSO2	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot	20% @ 18" o.c.	28
	RUD	Rudbeckia x 'Glitters Like Gold'	Glitters Like Gold Coneflower	1 gal.	Pot	20% @ 18" o.c.	28
	SHE	Sporobolus heterolepis	Prairie Dropseed	1 gal.	Pot	20% @ 18" o.c.	28

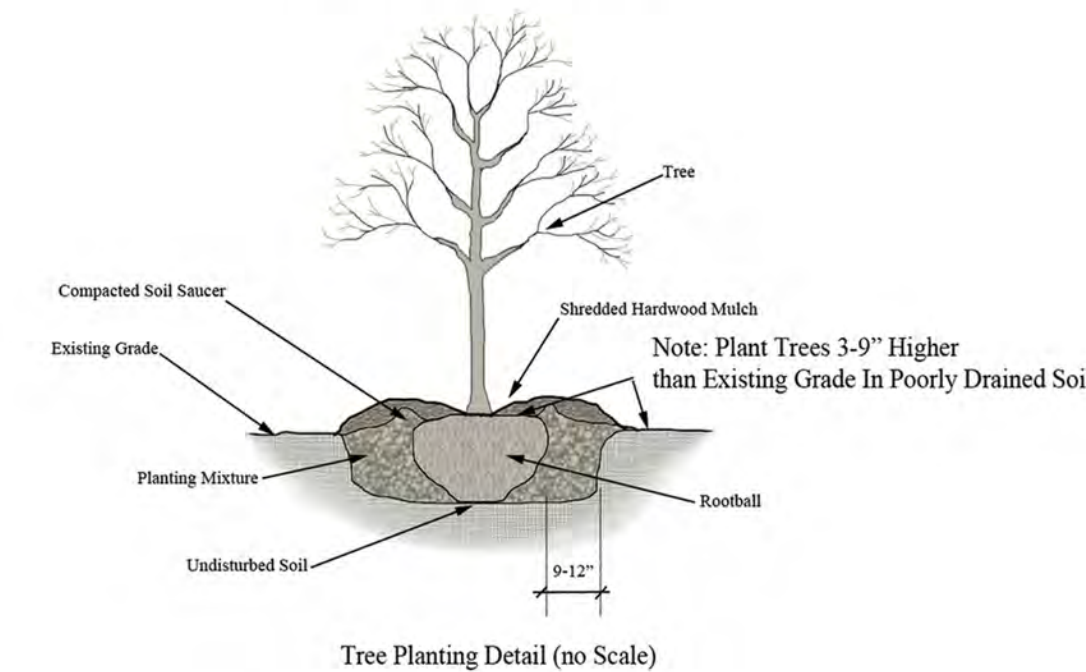
Planting Details



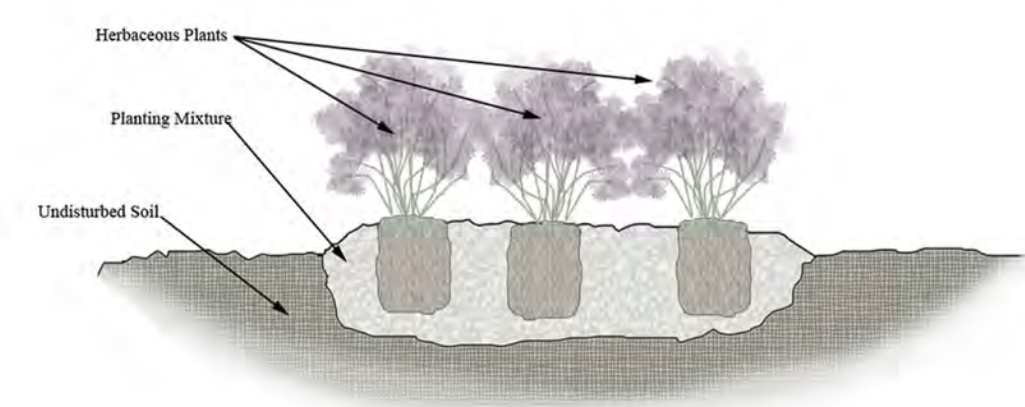
Flowering Perennial/River Rock Maintenance Strip Detail - (no scale)



Shrub Planting Detail (no Scale)



Tree Planting Detail (no Scale)



Herbaceous (Perennial and Ornamental Grass) Planting Detail (no Scale)

NOTE: Plant availability subject to nursery stock inventory. Appropriate substitution will be applied in the event that these plants are unavailable.

Sign Renderings



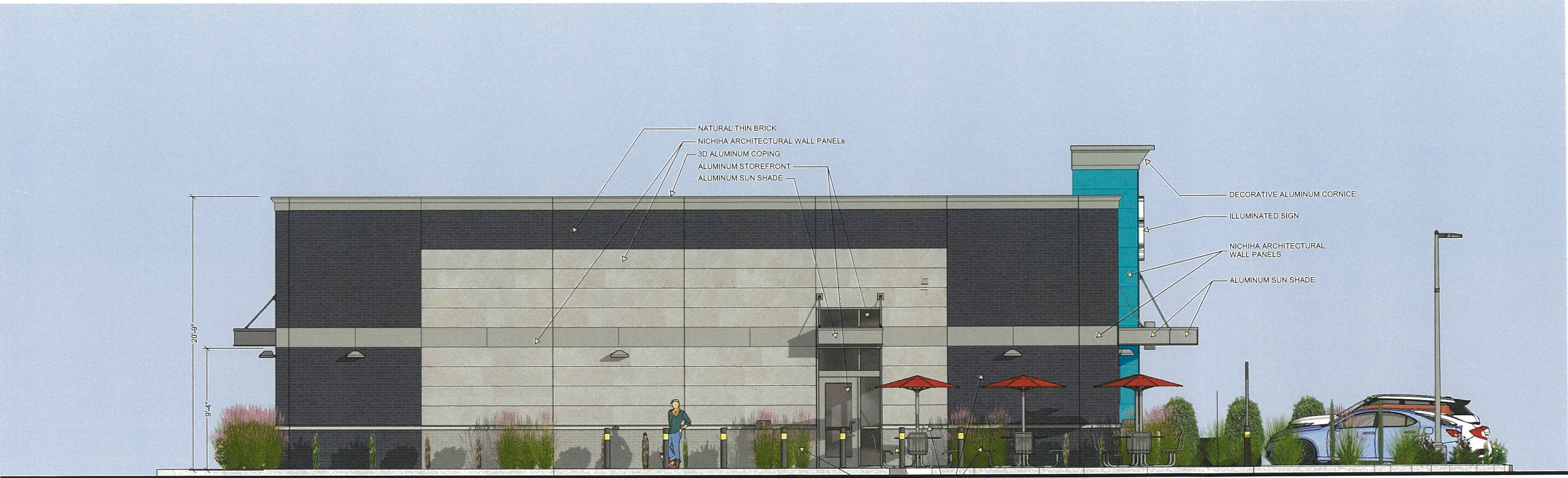


**FAMILY EXPRESS CORP.
FRONT ELEVATION**

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- EXTERNAL SIGN ILLUMINATION
- DECORATIVE CORNICE DETAIL
- NICHIHA ARCHITECTURAL WALL PANEL
- ALUMINUM SUN SHADE
- 3D ALUMINUM COPING
- ALUMINUM STOREFRONT
- ALUMINUM SUN SHADE
- NICHIHA ARCHITECTURAL WALL PANELS
- NICHIHA ARCHITECTURAL WALL PANELS
- NICHIHA ARCHITECTURAL WALL PANELS
- NICHIHA ARCHITECTURAL WALL PANELS
- CAST STONE SILL
- NATURAL THIN BRICK (DARKER)
- NATURAL THIN BRICK (LIGHTER)

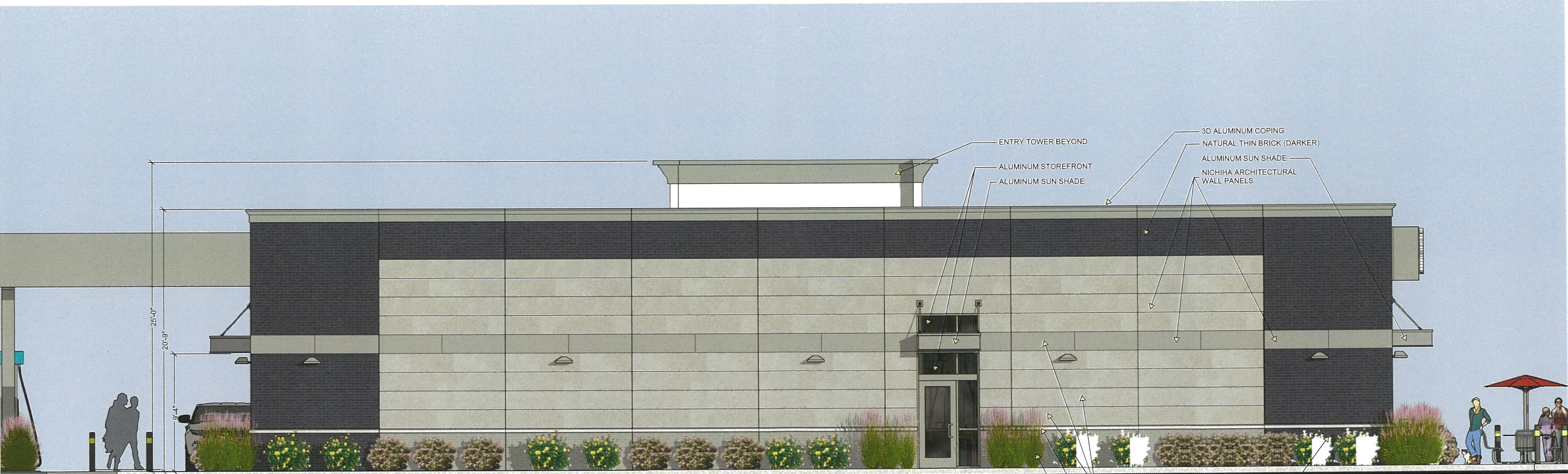




**FAMILY EXPRESS CORP.
SIDE ELEVATION**

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**FAMILY EXPRESS CORP.
REAR ELEVATION**

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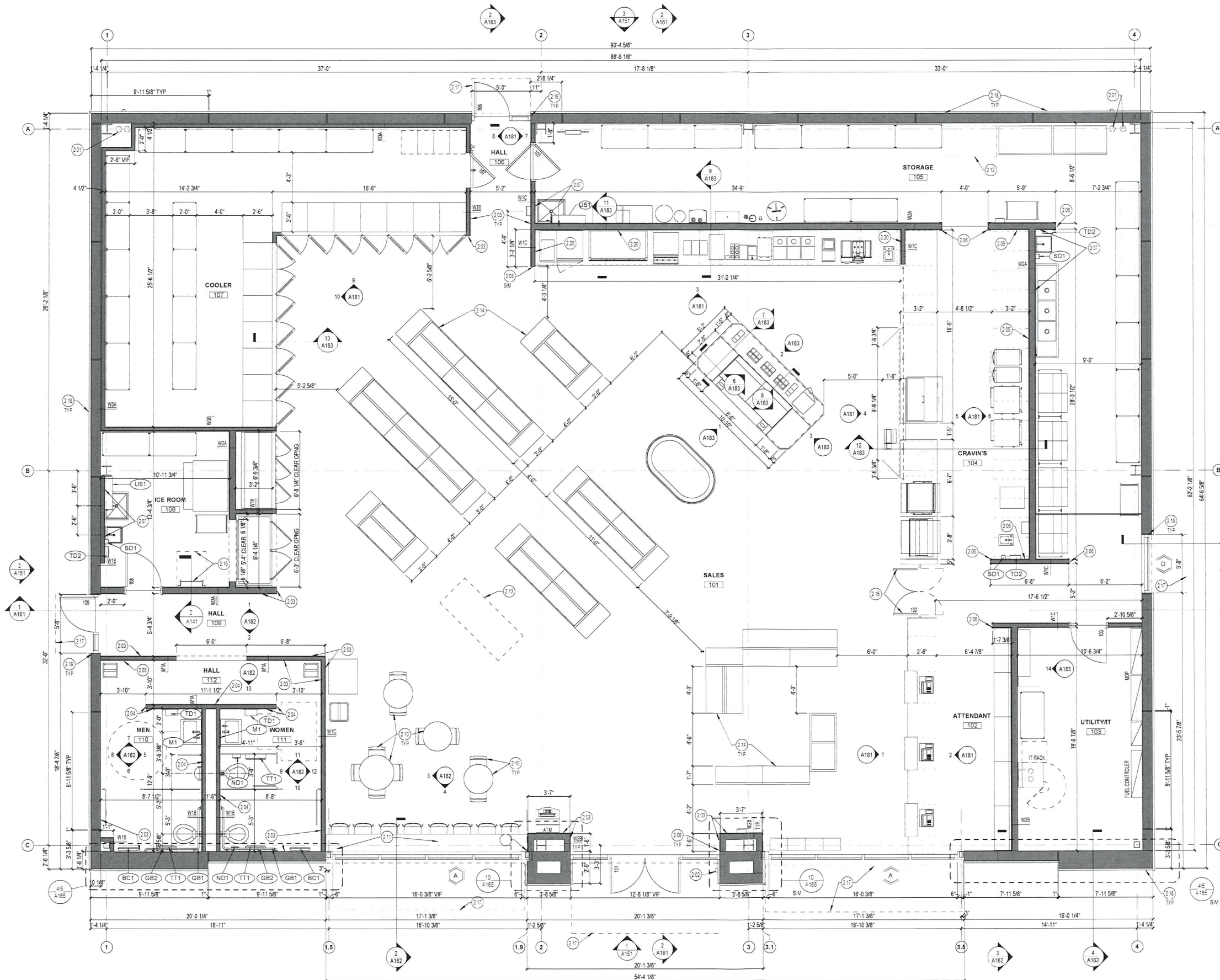




**FAMILY EXPRESS CORP.
SIDE ELEVATION**

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GENERAL PLAN NOTES:

1. THESE DRAWINGS ARE INTENDED TO OUTLINE THE GENERAL SCOPE OF THE WORK. CONTRACTORS SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK. CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR ADHERING TO ALL APP. CODES AND GENERALLY ACCEPTED TRADE PRACTICES.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD MASONRY OR EXISTING WALL SURFACE UNLESS NOTED OTHERWISE.
3. PROVIDE NECESSARY BLOCKING (FIRE RATED) CONCEALED WITHIN THE CONSTRUCTION AS REQUIRED FOR ANY AND ALL ITEMS THAT MUST BE SECURED TO THE WALL. VERIFY LOCATIONS WITH OWNER.
4. REFER TO WINDOW & DOOR SCHEDULES ON SHEET A181 FOR SIZE, TYPE AND FINISH OF ALL DOORS, FRAMES AND WINDOWS.
5. REFER TO PLUMBING PLANS FOR ALL PLUMBING FIXTURE LOCATIONS, SPECIFICATIONS AND FIXTURE COUNTS. THE ARCHITECTURAL FLOOR PLANS ARE FOR DESIGN INTENT ONLY.
6. REFER TO SHEET A182 FOR ALL TOILET ACCESSORIES.
7. REFER TO THE EQUIPMENT PLAN AND SCHEDULE FOR ALL EQUIPMENT LOCATIONS, SPECIFICATIONS AND COUNTS. THE ARCHITECTURAL FLOOR PLANS ARE FOR DESIGN INTENT ONLY.

WALL TYPES:

- W1A 25 GA 3/8" METAL STUD WALL FRAMING @ 16" OC WITH 5/8" GYPSUM BOARD BOTH SIDES TO BOTTOM OF CEILING JOISTS
- W1B 25 GA 3/8" METAL STUD WALL FRAMING @ 16" OC WITH 5/8" GYPSUM BOARD ONE SIDE TO BOTTOM OF CEILING
- W1C 25 GA 3/8" METAL STUD WALL FRAMING @ 16" OC WITH 5/8" GYPSUM BOARD BOTH SIDES TO DECK
- W2A 25 GA 6" METAL STUD WALL FRAMING @ 16" OC WITH 5/8" GYPSUM BOARD BOTH SIDES TO BOTTOM OF JOISTS
- W2B 25 GA 6" METAL STUD WALL FRAMING @ 16" OC WITH 5/8" GYPSUM BOARD BOTH SIDES TO DECK
- W3A COOLER WALL PANEL SYSTEM
- W3B COOLER WALL PANEL SYSTEM WITH 5/8" WATER RESISTANT GYPSUM BOARD ONE SIDE

WALL TYPE NOTES:

1. BOTTOM EDGE OF GYPSUM BOARD SHALL BE HELD ABOVE THE SLAB/SUBFLOOR A MINIMUM OF 1/2"
2. CONTRACTOR SHALL SUBSTITUTE GLASS MAT INTERIOR GYPSUM WALL BOARD FOR THE STANDARD GYPSUM WALL BOARD IDENTIFIED IN THE WALL TYPES IN TOILET ROOMS WITHIN 24" OF ALL PLUMBING FIXTURES AND ANY WET LOCATIONS
3. KICKER BRACING IS REQUIRED FOR ALL WALLS THAT DO NOT EXTEND TO DECK BRACING INTO SALES 101. SHOULD BE AVOIDED
4. REFER TO ROOM FINISH SCHEDULE FOR WALL FINISHES

PLAN KEYNOTES:

- 2.01 INTERNAL ROOF DRAIN (SEE PLUMBING PLANS)
- 2.02 KITCHEN BOX LOCATION
- 2.03 WALL TILE (SEE INTERIOR ELEVATIONS DWGS)
- 2.04 FULL HEIGHT TILE WALL (SEE INT. ELEV. DWG)
- 2.05 TILE BACKSPLASH (SEE INT. ELEV. DWGS)
- 2.06 STAINLESS STEEL CORNER GUARD AT GYP BRO ONLY (USE MT-1 AT TILE WAINSCOT)
- 2.07 FRP ON GYP BRO TO 4' HIGH AND WITHIN 2' MIN OF FIXTURE
- 2.08 ALIGN FACE OF WALL WITH FACE OF OPENING
- 2.09 LINE OF FLOOR TILE ACCEINT (SEE A181)
- 2.10 TABLES AND CHAIRS (BY OWNER)
- 2.11 BAR SURFACE (SEE INT. ELEV. DWGS)
- 2.12 LINE OF FUTURE REFRIGERATOR
- 2.13 LINE OF FUTURE SALES GONDOLA (3'-0" HIGH)
- 2.14 SALES GONDOLA
- 2.15 HDL SWING GATES WITH SPRING HINGES
- 2.16 ROOF ACCESS LADDER AND HATCH (SEE ROOF PLAN)
- 2.17 LINE OF CANOPY ABOVE
- 2.18 LINE OF STOVE/BAND
- 2.19 SEE DETAIL 6 & 7 ON A165 FOR PANEL DETAILS AT OPENING (TYP)
- 2.20 WALL COVERING (BY OWNER)

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CERTIFIED BY:



CONVENIENCE STORE

FAMILY EXPRESS

3750 State Road 49
Valparaiso, Indiana 46383

DRAWING FLOOR PLAN

ISSUE

PERMIT SET - 06/06/2024
BID SET - 07/28/2024
CONSTRUCTION SET - 12/20/2024

REVISIONS

NO	DESCRIPTION	DATE

PROJECT NUMBER 2338
DATE July 26, 2024

A121



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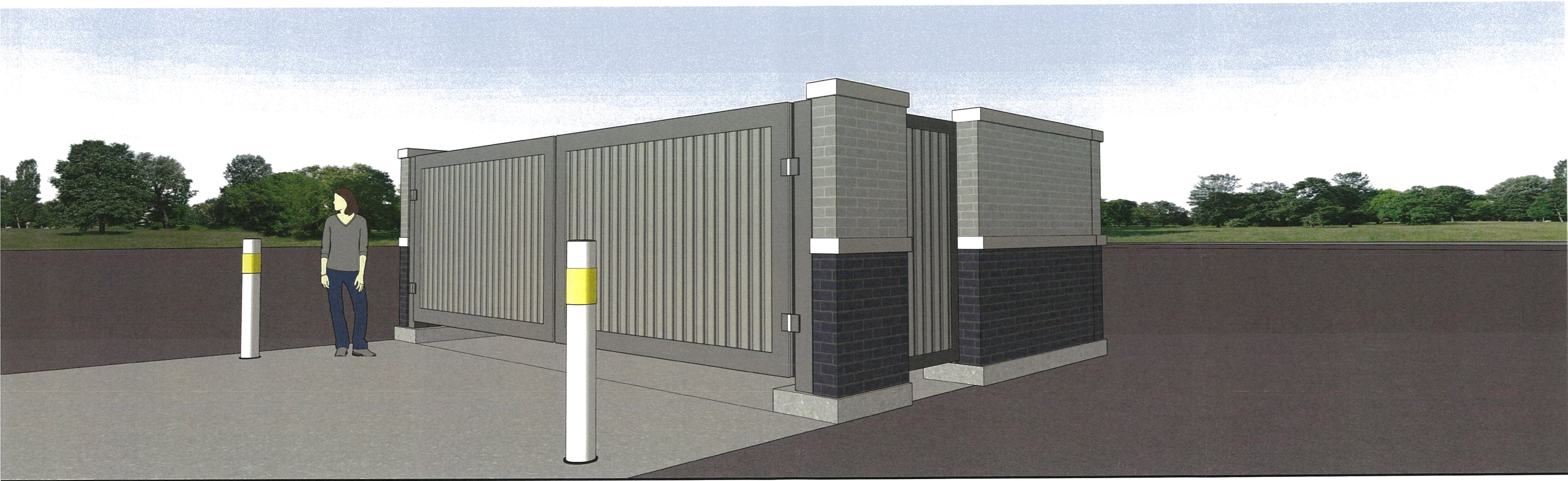
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CARWASH PERSPECTIVE

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TRASH ENCLOSURE

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