



CITY OF
VALPARAISO

166 Lincolnway
Valparaiso, IN 46383
(219) 462-1161
Valpo.us

MEETING AGENDA

Valparaiso Plan Commission
Tuesday, December 3, 2024, 5:30 PM
Valparaiso City Hall – Council Chambers

1. Pledge of Allegiance
2. Roll Call
3. Adoption of Meeting Minutes – November 5, 2024
4. Appointment of Executive Secretary
5. Old Business

RP24-002, a petition filed by Abonmarche Consultants, Inc. 17 N. Washington St., Valparaiso, IN 46383 on behalf of Paradise Home Builders. The petitioner seeks to replat three existing lots into six new lots (5 new home lots, 1 new outlot, and 2 remnant lots) at approximately 765 Kinsey St, Valparaiso, IN 46385.

6. New Business – None.
7. Staff Items
8. Adjournment

Matt Evans, President
Bob Thompson, Planning Director

Next Meeting: **Tuesday, January 7, 2024**

Interested persons can view public meetings live on the City of Valparaiso website, www.valpo.us or participate in the webinar by visiting bit.ly/ValpoPC2024. Requests for alternate formats please contact Planning Department at planningdepartment@valpo.us or (219) 462-1161.

PETITION TO VALPARAISO PLAN COMMISSION

This application is being submitted for (Check all that apply):

- ☐ To Rezone a Property from _____ to _____
- ☐ To Approve a Primary Plat
- ☐ To Approve a Secondary Plat
- ☐ To Approve a Planned Unit Development (PUD)
- ☐ To Approve a Planned Unit Development (PUD) Amendment
- ☐ To Approve a Minor Subdivision (public notice required post-decision)
- ☒ To Approve a Plat Amendment or Replat (public notice required post-decision)
- ☐ To Appeal the Decision of the Plat Committee
- ☐ Other: _____

For Office Use Only:

Petition #: RP 24-002

Application Filing Fee: _____

Date Filed: 10 / 4 / 2024

Meeting: 11 / 05 / 2024

SUBJECT PROPERTY INFORMATION

TYPE OR PRINT IN INK

Property Address:

See Attached Spreadsheet/Deeds
3 Separate Properties

Subject Property fronts on the _____ side
between (streets) _____

Description of Location of Property:

Zoning District (Current): _____

Zoning District (Proposed): _____

Zoning of Adjacent Properties:

North: _____ South: _____

East: _____ West: _____

Parcel/Tax Duplicate Number(s):

Present Use of Property:

Subdivision (If Applicable):

Proposed Use of Property:

Dimensions of Property: Front: _____ Depth: _____

Property Area (sq. ft./acres): _____

ALL OWNERS OF RECORD OF THE ABOVE-REFERENCED PROPERTY MUST SIGN THE PETITION FOR PUBLIC HEARING. The owner(s), by signing this Petition for Public Hearing, represent to the City of Valparaiso – Plan Commission, that he/she/it has the necessary legal authority to request action to be taken on the above-referenced property. If the name of the Petitioner is different from the property owner, the Plan Commission shall accept the requests and representations of the Petitioner and the property owner shall be bound by such requests and representations via the Attached Affidavit of Consent of Property Owner.



Signature of owner/Petitioner

10/7/24

Date

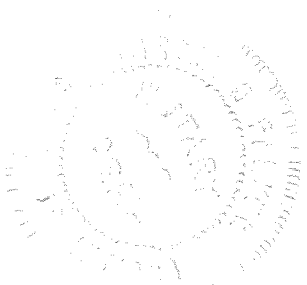
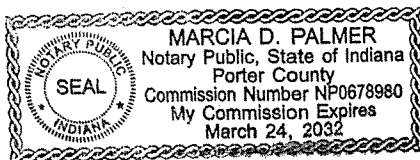
Bill Oeding, City Administrator

Printed name

Subscribed and sworn to before me this 7 day of October, 2024.

Marcia D. Palmer
Notary Public Marcia D. Palmer

My Commission Expires: March 24, 2032



Written Description of the Project

Please provide a brief written description of the proposed project. The written description allows the public, the Plan Commission, and planning staff to better understand the proposed project.

The proposed application is to replat the existing city owned parcels and Hometeam Valpo parcel into separate taxable lots for the purpose of constructing housing on the proposed 5 replatted lots, create one Outlot for the City of Valparaiso's Public Works facility and create one Outlot for the future subdivision to the east.

Utilities are currently present onsite or can be extended from the west.

SITE CONSTRUCTION PLANS FOR:

PARADISE HOMES

SUBDIVISION

KINSEY STREET, VALPARAISO, IN 46385

UTILITY CONTACTS

CABLE TV COMCAST NORTH (866) 594-1234 CONTACT: LARRY SMITH EMAIL: LARRY_SMITH@COMCAST.COM	WATER VALPARAISO CITY UTILITIES 205 BILLINGS ST. VALPARAISO, IN 46383 (219) 462-6174 CONTACT: MIKE STEEGE EMAIL: MSTEEGE@VALPO.US
TELEPHONE NITCO 205 N. WASHINGTON ST. HEBRON, IN 46341 (219) 996-0216 CONTACT: DON SCHOENBECK EMAIL: DONS@NITCO.COM	COMMUNICATION FRONTIER (877) 600-1512 CONTACT: ROBERT MORRIS EMAIL: ROBERT.I.MORRIS@FRT.COM
COMMUNICATIONS MCI 400 INTERNATIONAL PARKWAY RICHARDSON TX, 75081 (469) 886-4238 CONTACT: DEAN BOYERS EMAIL: DEAN.BOYERS@VERIZON.COM	GAS NIPSCO – GAS 22 S. SR – 49 VALPARAISO, IN 46383 (219) 384-6405 EMAIL: MCOWAN@NISOURCE.COM CONTACT: MELISSA COWAN
FIBER OPTIC MIDWEST TELECOM OF AMERICA, INC. 1567 E. 93RD AVE. MERRILLVILLE, IN 46410 (877) 742-5682	ELECTRIC NIPSCO – ELECTRIC 22 S. SR – 49 VALPARAISO, IN 46383 (219) 263-8320 EMAIL: MATTHEWGREEN@NISOURCE.COM CONTACT: MATT GREEN
SANITARY SEWER VALPARAISO CITY UTILITIES 1251 JOLIET RD. VALPARAISO, IN 46383 (219) 462- 6174 CONTACT: MIKE STEEGE EMAIL: MSTEEGE@VALPO.US	

UTILITY INFORMATION

UTILITY LOCATIONS ARE TAKEN FROM SUBSTANTIAL ABOVE GROUND EVIDENCE AND APPROXIMATED FROM RECORD AS-BUILTS MADE AVAILABLE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, HYDRANTS, VALVES, UTILITY PEDESTALS AND BOXES, AND MARKS/FLAGS SET ON THE GROUND SURFACE BY OTHERS). PIPE INVERTS HAVE BEEN MEASURED WITH AS MUCH ACCURACY AS CAN BE ACHIEVED WITHOUT CONFINED SPACE ENTRY. **CAUTION:** THERE MAY BE OTHER UTILITIES EXISTING BELOW GROUND THAT WERE NOT MARKED BY OTHERS NOR HAVE VISIBLE ABOVE GROUND EVIDENCE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND DEPTHS OF ALL UTILITIES AND PIPING AS NECESSARY PRIOR TO ANY AND ALL CONSTRUCTION. CONTACT ENGINEER IF ANY DISCREPANCIES DISCOVERED.



CALL 811 OR (800) 382-5544
24 HOURS A DAY, SEVEN DAYS A WEEK

PART OF THE SE QTR OF SECTION 23, T-35-N, R-6-W, CENTER TOWNSHIP, PORTER COUNTY



VICINITY MAP
(NOT TO SCALE)

DEVELOPER
PARADISE HOMES, INC.
3803 SANDPIPER COURT
VALPARAISO, IN 46385

SURVEYOR / ENGINEER
ABONMARCHÉ
17 N. Washington Street
Valparaiso, IN 46383
T 219.850.4624

SHEET INDEX

1	COVER SHEET
2	PLAT OF SURVEY
3	EXISTING CONDITIONS
4	SECONDARY PLAT
5	REMOVALS PLAN
6	SUBDIVISION LAYOUT PLAN
7	GRADING & DRAINAGE PLAN
8	KINSEY ST TYPICAL SECTION
9	KINSEY ST PLAN & PROFILE
10	UTILITY PLAN
11	CONSTRUCTION DETAILS



Benton Harbor
South Bend
Crown Point
Lafayette
Valparaiso
Hobart
Kalamazoo
Grand Rapids
abonmarche.com

Engineering, Architecture, Land Surveying

PROJECT: PARADISE COMMUNITY HOMES SUB.

COVER SHEET

SHEET TITLE:

DRAWN BY:

BRG

DESIGNED BY:

BRG

PM REVIEW:

MSK

QA/QC REVIEW:

DSK

DATE:

12/03/2024

SEAL:

SIGNATURE:

DATE:

SCALE:

HORZ: N/A

VERT: N/A

ACI JOB #

24-1288

SHEET NO.

1 of 11

PLAT OF SURVEY

LEGAL DESCRIPTION
LOT 21-C IN THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION, RECORDED APRIL 26, 2017, IN PLAT FILE 57-A-3, AS INSTRUMENT NUMBER 2017-009397, IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

LOTS 23 AND 24, IN CAMPBELL'S SUBDIVISION, IN THE CITY OF VALPARAISO, AS PER PLAT THEREOF RECORDED IN MISCELLANEOUS RECORD "C", PAGE 567, IN THE OFFICE OF THE RECORD OF PORTER COUNTY, INDIANA.

ALL THAT PARCEL OF LAND SITUATED IN THE CITY OF VALPARAISO, COUNTY OF PORTER, AND STATE OF INDIANA, BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 6 WEST OF THE SECOND PRINCIPAL MERIDIAN BOUNDED AND DESCRIBED ACCORDING TO A PLAN OF A SURVEY MADE BY WILLIAM S. TANKE DATED JULY 6, 1977, AS FOLLOWS, VIZ:

COMMENCING AT THE INTERSECTION OF THE EAST LINE OF SAID SOUTHEAST QUARTER AND THE SOUTHERLY RIGHT OF WAY LINE OF THE FORMER PENN CENTRAL RAILROAD (NOW CONSOLIDATED RAIL CORPORATION) WHICH IS 969.61 FEET NORTH OF THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER (SAID EAST LINE HAVING AN ASSUMED BEARING OF SOUTH 01 DEGREES 36 MINUTES 04 SECONDS WEST), THENCE NORTH 57 DEGREES 00 MINUTES 00 SECONDS WEST ALONG A LINE WHICH IS 100 FEET SOUTHERLY OF AS MEASURED NORMAL TO THE CENTERLINE OF THE EXISTING EAST BOUND MAIN TRACK OF SAID RAILROAD (SAID LINE IS ALSO THE NORTH LINE OF LOT 24 IN CAMPBELL'S SUBDIVISION AS PER PLAT THEREOF RECORDED IN MISC. RECORD "C", PAGE 567 IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA) 452.75 FEET TO THE TRUE POINT OF BEGINNING FOR SAID PARCEL, THENCE CONTINUING ALONG THE BOUNDARY LINE OF SAID CAMPBELL'S SUBDIVISION THE FOLLOWING THREE COURSES AND DISTANCES, SOUTH 78 DEGREES 00 MINUTES 00 SECONDS WEST 212.13 FEET, NORTH 57 DEGREES 00 MINUTES 00 SECONDS WEST 900.0 FEET, NORTH 33 DEGREES 00 MINUTES 00 SECONDS EAST 200.00 FEET TO A POINT WHICH IS 50.00 FEET SOUTHERLY OF AS MEASURED NORMAL TO THE CENTERLINE OF SAID EAST BOUND MAIN TRACK THENCE SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH SAID CENTERLINE 545.00 FEET, THENCE SOUTH 33 DEGREES 00 MINUTES 00 SECONDS WEST 50 FEET TO A POINT WHICH IS 100 FEET SOUTHERLY OF SAID CENTERLINE THENCE SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH SAID CENTERLINE, 505.00 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 3.983 ACRES, MORE OR LESS, OR 173,500 SQUARE FEET, MORE OR LESS.

BEGINNING AT THE NORTH CORNER OF SAID LOT 23, SAID CORNER IS ALSO THE NORTHEAST CORNER OF LOT 21-C, AS SHOWN ON THE FINAL PLAT OF THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION AS PER THE PLAT THEREOF RECORDED IN PLAT FILE 57-A-3 AND DOCUMENT NUMBER OF 2017-009397 IN SAID RECORDER'S OFFICE; THENCE SOUTHWESTERLY 135.75 FEET ALONG THE NORTHWEST LINE OF SAID LOT 23 TO THE INTERSECTION OF THE LINES COMMON TO LOTS 21, 22, AND 23 IN SAID CAMPBELL'S SUBDIVISION; THENCE SOUTHEASTERLY PERPENDICULAR TO SAID NORTHWEST LINE 20.00 FEET; THENCE NORTHEASTERLY PARALLEL WITH THE NORTHWEST LINE OF SAID LOT 23 AND THE SOUTHEAST LINE OF SAID LOT 21-C A DISTANCE OF 135.75 FEET TO A POINT ON SAID NORTH EAST LINE THAT IS 20.00 FEET SOUTHEAST OF SAID NORTH POINT OF SAID LOT 23; THENCE NORTHWESTERLY 20.00 FEET ALONG SAID NORTH EAST LINE TO THE POINT OF BEGINNING.

SURVEYOR'S REPORT

IN ACCORDANCE WITH TITLE 865, ARTICLE 1.1, CHAPTER 12, OF THE INDIANA ADMINISTRATIVE CODE, THE FOLLOWING OBSERVATIONS AND OPINIONS ARE SUBMITTED REGARDING THE VARIOUS UNCERTAINTIES IN THE LOCATIONS OF THE LINES AND CORNERS ESTABLISHED ON THIS SURVEY AS RESULT OF:

A) AVAILABILITY AND CONDITION OF REFERENCE MONUMENTS;
B) OCCUPATION OR POSSESSION LINES;
C) CLARITY OR AMBIGUITY OF THE RECORD DESCRIPTION USED AND OF ADJOINERS' DESCRIPTIONS AND THE RELATIONSHIP OF THE LINES OF THE SUBJECT TRACT WITH ADJOINERS' LINES;
D) THE RELATIVE POSITIONAL ACCURACY OF THE MEASUREMENTS.

OWNERS OF RECORD: PARADISE HOMES, INC.; CITY OF VALPARAISO; CITY OF VALPARAISO REDEVELOPMENT COMMISSION
TYPE OF SURVEY AND PURPOSE: PERFORM A RETRACEMENT SURVEY
A) THE REFERENCE MONUMENTS USED AND HELD ARE SHOWN ON THE FACE OF THE SURVEY.
B) RIGHT-OF-WAYS, FENCES, AND IMPROVEMENTS AS SHOWN.
C) AMBIGUITY OF RECORD DESCRIPTIONS
D) THE CLASSIFICATION OF THIS SURVEY IS AN URBAN SURVEY: 0.07 FEET PLUS 50 PARTS PER MILLION.

THEORY OF LOCATION:

DUE TO VARIANCES IN REFERENCE MONUMENTS: 1.0'
DUE TO DISCREPANCIES IN THE RECORD DESCRIPTION: NONE NOTED
DUE TO INCONSISTENCIES IN LINES OF OCCUPATION: SEE PLAT NOTES:

PLATS AND NOTES USED.

- ABONMARCHÉ RECORDS
- PORTER COUNTY GIS
- PORTER COUNTY SURVEYOR'S RECORDS
- DEEDS FOUND IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

- A ROBOTIC TOTAL STATION AND GPS WERE USED TO COLLECT DATA FOR THE PROJECT.
- THE FIELD WORK WAS COMPLETED ON OCTOBER 4, 2024.
- BASIS OF BEARING: INDIANA STATE PLANE COORDINATE SYSTEM (WEST ZONE/NAD83-2011 ADJ.)

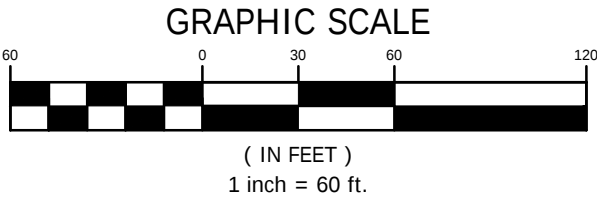
LAND SURVEYOR'S CERTIFICATE

I, RANDALL S. PETERSON, HEREBY CERTIFY THAT I AM A LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, AND THAT THIS SURVEY WAS PERFORMED WHOLLY BY OR UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, WAS EXECUTED ACCORDING TO THE SURVEY REQUIREMENTS IN TITLE 865, ARTICLE 1.1, CHAPTER 12, SECTIONS 1 THROUGH 29 OF THE INDIANA ADMINISTRATIVE CODE (IAC).

I AFFIRM UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW.

RANDALL S. PETERSON, P.S. DATE
PROFESSIONAL SURVEYOR #LS20400012
STATE OF INDIANA

- LEGEND
- FCI FOUND CAPPED IRON
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FPP FOUND PINCH PIPE
 - SCI SET CAPPED IRON ROD
 - "ABONMARCHÉ FIRM #0050"
 - (C) CALCULATED DIMENSION
 - (M) MEASURED DIMENSION
 - (P) PLATTED DIMENSION
 - (R) RECORD DIMENSION
 - CHAINLINK FENCE
 - RAILROAD TRACKS



PLAT OF SURVEY FOR CITY OF VALPARAISO; CITY OF VALPARAISO REDEVELOPMENT COMMISSION; PARADISE HOMES, INC.
A PART OF THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION (PLAT FILE 57-A-3), CAMPBELL'S SUBDIVISION (MISC. RECORD "C", PAGE 567), AND BLOCK 10 OF WEST VALPARAISO IN THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 6 WEST CENTER TOWNSHIP, PORTER COUNTY, INDIANA.

ABONMARCHÉ

17 N. Washington Street
Valparaiso, IN 46383
Y 219.850.4625
abonmarche.com

Benton Harbor
South Bend
Elkhart
Fort Wayne
Lafayette

Valparaiso
Hobart
South Bend
Elkhart
Fort Wayne
Grand Rapids

Engineering Architecture Land Surveying

DRAWN BY: BRG
FIELDBOOK: JM/EG
PM REVIEW: MSK
QA/QC REVIEW: RSP
DATE: 11/4/24
SCALE: 1" = 60'
ACI JOB #: 24-1288
SHEET NO. 2 of 11

SEC. 23-T35N-R6W



LEGEND

- CP #1
CONTROL POINT
- EXISTING GROUND CONTOURS
- EXISTING DITCH
- TREELINE
- GROUND SHOT
- GUY ANCHOR
- FIRE HYDRANT
- WATER VALVE
- SANITARY MANHOLE
- SANITARY SEWER LINE
- WATER MAIN
- OVERHEAD ELECTRIC
- POWER POLE
- POWER POLE W/ DROP
- GAS LINE
- GAS MARKER
- ASPHALT
- GRAVEL

BENCHMARKS

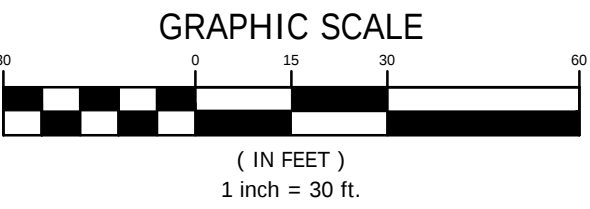
No.	DESCRIPTION	ELEVATION
TBM "A"	MAG NAIL IN PAVEMENT	740.77
TBM "B"	SET NAIL IN STONE	717.66

SURVEY NOTES

- THIS TOPOGRAPHIC SURVEY WAS PERFORMED FOR: PARADISE HOMES, INC.
- EQUIPMENT USED: TOPCON ROBOTIC TOTAL STATION AND HYPER VR GPS UNIT.
HORIZONTAL DATUM: INDIANA WEST STATE PLANE
PROJECTION: NAD 83_NO_TRANS.
VERTICAL DATUM: INCORS NAVD88
- A TOPOGRAPHIC SURVEY OF THE PROJECT SITE TO LOCATE EXISTING FEATURES AND UTILITIES WAS PERFORMED ON 11/07/2024.
- UTILITIES SHOWN ARE TAKEN FROM UTILITY LOCATES PER INDIANA 811 TICKET #2409271947, 2409272005, 2409272046 AND SUBSTANTIAL FIELD EVIDENCE. CONTRACTOR SHALL FOLLOW STANDARD PROCEDURES FOR UTILITY VERIFICATION AND FIELD VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES PRIOR TO ANY EARTH MOVING ACTIVITIES AND UTILITY CONSTRUCTION.
- CAUTION EXISTING UTILITIES: SHOWN LOCATIONS ARE TAKEN FROM SUBSTANTIAL ABOVE GROUND EVIDENCE AND APPROXIMATE FROM RECORD AS-BUILTS MADE AVAILABLE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, HYDRANTS, VALVES, UTILITY PEDESTALS AND BOXES, AND MARKS/FLAGS SETS ON THE GROUND SURFACE BY OTHERS). PIPE INVERTS HAVE BEEN MEASURED WITH AS MUCH ACCURACY AS CAN BE ACHIEVED WITHOUT CONFINED SPACE ENTRY.
- FLOOD NOTE: THIS PARCEL IS NOT WITHIN 1% ANNUAL CHANCE FLOOD (SPECIAL FLOOD HAZARD AREA) AS SCALED AND DEPICTED ON THE FEMA/FIRM COMMUNITY PANEL NUMBER 18127C0204D WITH AN EFFECTIVE MAP DATE OF 09/30/2024.
- EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS DRAWING. RESEARCH OF THE LATEST AVAILABLE TITLE INSURANCE POLICY AND/OR A SEARCH OF THE RECORDS OF THE OFFICE OF THE PORTER COUNTY RECORDER'S OFFICE, INDIANA SHOULD BE PERFORMED TO DETERMINE THE EXISTENCE OF RELEVANT DOCUMENTS THAT MAY AFFECT THIS PARCEL.
- THIS DOCUMENT IS NOT A RULE 12 BOUNDARY SURVEY AND SHOULD NOT BE USED TO ASSESS PROPERTIES OR ESTABLISH PROPERTY LINES AND IS FOR LOCATION OF FEATURES AND ELEVATIONS AS SHOWN. REFER TO THE RECORDED DEED AND PLAT INFORMATION SHOWN ON THE FACE OF DRAWING.
- DISCREPANCIES OR CONFLICTS IN THE PLANS AND/OR SITE CONDITIONS SHALL BE COMMUNICATED TO THE SURVEYOR/ENGINEER TO ENSURE THAT CLARIFICATIONS AND/OR REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION.

UTILITY INFORMATION

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. FIELD SURVEY INFORMATION CONSISTING OF PAINT MARKINGS FOUND ON THE GROUND PER THE INDIANA UNDERGROUND PLANT PROTECTION SERVICE (IUPPS - 811). THE PAINT MARKINGS SHOWN HEREON AS EVIDENCE OF PROBABLE UNDERGROUND UTILITY LOCATIONS AND ARE CONSISTENT WITH TYPICAL UTILITY MARKINGS. HOWEVER, NO UTILITY REPORT WAS PROVIDED TO AUTHENTICATE THESE MARKINGS. THE USER OF THIS PLAT/MAP SHOULD RELY UPON SUCH MARKINGS AT THEIR OWN RISK. THE SURVEYOR MAKES NO GUARANTEE THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



ABONMARCHÉ

Benon Harbor
Valparaiso
Hobart
South Bend
Goshen
Ellettsville
Mishawaka
Grand Rapids
Lafayette

17 N Washington Street
Valparaiso, IN 46383
P 219.880.4624
F 219.880.4624
abonmarche.com
abonmarche.com

Engineering Architecture Land Surveying

PROJECT: PARADISE COMMUNITY HOMES SUB.

EXISTING CONDITIONS

SHEET TITLE:

DRAWN BY: BRG

DESIGNED BY: BRG

PM REVIEW: MSK

QA/QC REVIEW: DSK

DATE: 12/03/2024

SEAL:

SIGNATURE:

DATE:

SCALE: HORIZ: 1" = 30' VERT: N/A

ACI JOB # 24-1288

SHEET NO. 3 of 11

THE RESUBDIVISION OF LOT 21-C IN THE RESUBDIVISION OF LOT 21
IN CAMPBELL'S SUBDIVISION AND LOTS 23 & 25 IN CAMPBELL'S SUBDIVISION

A SUBDIVISION LOCATED IN VALPARAISO, INDIANA. PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 6 WEST, CITY OF VALPARAISO, PORTER COUNTY, INDIANA

BOARD OF PUBLIC WORKS AND SAFETY CERTIFICATION

THIS PLAT WAS EXAMINED BY THE BOARD OF PUBLIC WORKS AND SAFETY OF THE CITY OF VALPARAISO FOR COMPLIANCE WITH THE STANDARDS MANUAL AND APPROVED THIS ____ DAY OF _____, 2024.

_____, MAYOR

_____, MEMBER

_____, MEMBER

ATTEST: _____, CLERK-TREASURER

LEGAL DESCRIPTION

LOT 21-C OF THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION, AS PER PLAT THEREOF RECORDED APRIL 26, 2017, IN PLAT FILE 57-A-3 AND AS INSTRUMENT NUMBER 2017-009397 AS RECORDED IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA, A PART OF LOT 23 AND LOT 25 IN CAMPBELL'S SUBDIVISION, IN THE CITY OF VALPARAISO, AS PER PLAT THEREOF RECORDED IN MISCELLANEOUS RECORD "C", PAGE 567 IN SAID RECORDER'S OFFICE AND A PARCEL LAND DEDICATED AS PUBLIC ROAD RIGHT-OF-WAY TO THE CITY OF VALPARAISO AS PER DEED OF DEDICATION RECORDED AS INSTRUMENT NUMBER 2022-024191 IN SAID RECORDER'S OFFICE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8 INCH REBAR WITH A "BEGG" CAP FOUND AT THE NORTHWEST CORNER OF SAID LOT 25 OF CAMPBELL'S SUBDIVISION; THENCE ALONG THE SOUTH LINE OF THE CONRAIL RAILROAD (FORMERLY PITTSBURGH, FORT WAYNE, & CHICAGO RAILWAY) RIGHT-OF-WAY SOUTH 58°48'05" EAST 152.19 FEET TO A 5/8 INCH REBAR WITH ID CAP STAMPED "ACI FIRM 0050"; THENCE SOUTH 31°14'39" WEST 138.98 FEET TO AN ACI MONUMENT; THENCE SOUTH 31°22'11" WEST 50.00 FEET TO AN ACI MONUMENT; THENCE SOUTH 31°22'11" WEST 147.76 FEET TO AN ACI MONUMENT; THENCE NORTH 58°42'56" WEST 20.00 FEET TO THE EAST LINE OF THE AFOREMENTIONED LOT 21-C ALSO BEING THE SOUTHEAST CORNER OF A PARCEL DESCRIBED IN A QUIT-CLAIM DEED TO THE CITY OF VALPARAISO AND RECORDED AS INSTRUMENT NUMBER 2024-019015; THENCE SOUTH 31°22'18" WEST ALONG SAID EAST LINE 188.15 FEET; THENCE NORTH 58°45'38" WEST ALONG THE SOUTH LINE OF SAID LOT 21-C 108.48 FEET TO A 5/8 INCH REBAR WITH "MCMAHON" CAP FOUND AT THE SOUTHWEST CORNER OF SAID LOT 21-C; THENCE NORTH 31°15'47" EAST ALONG THE WEST LINE OF SAID LOT 21-C 324.62 FEET TO A 5/8 INCH REBAR WITH "MCMAHON" CAP FOUND AT THE NORTHWEST CORNER OF SAID LOT 21-C ALSO BEING THE SOUTH LINE OF THE KINSEY STREET RIGHT-OF-WAY PARCEL AS DEDICATED BY INSTRUMENT NUMBER 2022-024191 RECORDED IN SAID RECORDER'S OFFICE; THENCE NORTH 59°00'38" WEST ALONG THE SOUTH LINE OF KINSEY STREET 22.98 FEET TO AN IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF SAID KINSEY STREET RIGHT-OF-WAY PARCEL; THENCE NORTH 31°13'32" EAST ALONG THE WEST LINE OF SAID KINSEY STREET RIGHT-OF-WAY PARCEL 51.43 FEET TO A PINCH PIPE AT THE SOUTHEAST CORNER OF LOT 2 IN CAMPBELL'S SUBDIVISION RECORDED AS INSTRUMENT NUMBER 2023-009389 IN SAID RECORDER'S OFFICE; THENCE NORTH 31°14'39" EAST ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 148.67 FEET TO THE POINT OF BEGINNING, CONTAINING 1.572 ACRES, MORE OR LESS. BEARINGS IN THE FOREGOING DESCRIPTION ARE REFERENCED TO GRID NORTH OF THE INDIANA STATE PLANE COORDINATE SYSTEM (WEST ZONE/NA83-2011 ADJ.), AS DETERMINED BY GNSS OBSERVATIONS.

DEED OF DEDICATION

WE, THE UNDERSIGNED, _____, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED SAID REAL ESTATE IN ACCORDANCE WITH THE ATTACHED PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS THE RESUBDIVISION OF LOT 21-C IN THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION, AND LOTS 23 & 25 IN CAMPBELL'S SUBDIVISION, ALL STREETS AND ALLEYS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC. THERE ARE STRIPS OF GROUND OF VARIOUS WIDTHS SHOWN ON THIS PLAT AND LABELED AS EASEMENTS FOR VARIOUS PURPOSES. UTILITY EASEMENTS ARE RESERVED FOR THE USE OF PUBLIC UTILITIES FOR THE INSTALLATION OF MAINS, POLES, DUCTS, LINES, AND WIRES, SUBJECT AT ALL TIMES TO THE PROPER AUTHORITIES AND TO THE EASEMENT HEREIN RESERVED. DRAINAGE EASEMENTS ARE RESERVED FOR THE USE OF THE CITY, HOMEOWNERS, AND/OR THE PROPERTY OWNER'S ASSOCIATION TO PROVIDE FOR THE CONSTRUCTION, MAINTENANCE, AND OPERATION OF DRAINAGE CONDUITS, SWALES, CHANNELS, OVERFLOWS, DETENTION BASINS, OR OTHER RUNOFF MANAGEMENT FACILITIES. A CONSERVATION EASEMENT IS HEREBY DEDICATED OVER AND ACROSS OUTLOT "A" AND IS GRANTED IN FAVOR OF THE OWNER(S) OF OUTLOT "A" AND THE CITY OF VALPARAISO, ITS AGENTS, REPRESENTATIVES, AND ASSIGNS. SUCH EASEMENTS HAVE BEEN CREATED TO PROTECT THE ENVIRONMENTAL VALUE OF SUCH AREAS AND TO PROTECT THE NATURAL RESOURCES LOCATED THEREIN. SUCH CONSERVATION EASEMENTS PROHIBIT ANY PERSON FROM INTERFERING WITH OR DAMAGING THE NATURAL RESOURCES LOCATED THEREIN. NO STRUCTURES, BUILDING, PARKING LOTS, ROADS, PAVEMENT, OR OTHER IMPROVEMENTS SHALL BE BUILT IN AND NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE WITHIN SUCH AREAS WITH THE EXCEPTION OF THOSE NECESSARY AND PROPERLY AUTHORIZED TO INSPECT, MAINTAIN, RESTORE AND ENHANCE THE NATURAL RESOURCES LOCATED THEREIN. THE INSPECTION AND MAINTENANCE OF THE NATURAL RESOURCES LOCATED WITHIN SUCH AREAS SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF OUTLOT "A", THE CITY OF VALPARAISO, ITS AGENTS, REPRESENTATIVES, AND ASSIGNS, IS HEREBY GRANTED THE RIGHT TO REQUEST REMOVAL AND/OR REMOVE ANY INTERFERENCE OR DAMAGE TO NATURAL RESOURCES LOCATED WITHIN SUCH EASEMENTS. THE CITY OF VALPARAISO, ITS AGENTS, REPRESENTATIVES, AND ASSIGNS, IS HEREBY GRANTED THE RIGHT, BUT NOT THE RESPONSIBILITY, TO ENTER SUCH CONSERVATION EASEMENTS IN ORDER TO INSPECT, MAINTAIN, RESTORE, AND ENHANCE THE NATURAL RESOURCES LOCATED THEREIN. SUCH CONSERVATION EASEMENTS ARE BINDING ON ALL HEIRS, SUCCESSORS, AND ASSIGNS TO THE PROPERTY ON WHICH THEY ARE LOCATED. THE CITY OF VALPARAISO, OR ITS SUCCESSOR UNIT OF GOVERNMENT, MAY ENFORCE THE PROVISIONS OF SUCH EASEMENTS AS IF SUCH EASEMENTS WERE A STANDARD OF THE CITY OF VALPARAISO UNIFIED DEVELOPMENT ORDINANCE, OR ITS SUCCESSOR ORDINANCE. SUCH EASEMENTS SHALL BE MODIFIED OR VACATED IN THE MANNER STIPULATED IN THE CITY OF VALPARAISO UNIFIED DEVELOPMENT ORDINANCE, OR ITS SUCCESSOR ORDINANCE. NO PERMANENT OR OTHER STRUCTURES ARE TO BE ERRECTED OR MAINTAINED UPON SAID EASEMENTS. OWNERS OF LOTS IN THIS SUBDIVISION SHALL TAKE THEIR TITLES SUBJECT TO THE RIGHTS OF THE PUBLIC UTILITIES AND TO THE RIGHTS OF THE OWNERS OF OTHER LOTS IN THIS SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS ____ DAY OF _____, 2024.

STATE OF INDIANA)

SS: COUNTY OF PORTER)

BEFORE ME, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED _____ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING AS THEIR VOLUNTARY ACT AND DEED.

THIS ____ DAY OF _____, 2024.

THIS ____ DAY OF _____, 2024.

NOTARY PUBLIC -

NOTARY PUBLIC -

PRINTED NAME -

PRINTED NAME -

MY COMMISSION EXPIRES: _____

MY COMMISSION EXPIRES: _____

PLAN COMMISSION CERTIFICATE

UNDER AUTHORITY PROVIDED BY INDIANA CODE 36-7-4, ET SEQ. ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ORDINANCE ADOPTED BY THE COMMON COUNCIL OF THE CITY OF VALPARAISO, THIS PLAT WAS GIVEN APPROVAL BY THE CITY AS FOLLOWS:

APPROVED BY THE VALPARAISO PLAN COMMISSION AT A REGULAR MEETING HELD ON:

_____, 2024

PRESIDENT, MEMBER

EXECUTIVE DIRECTOR, MEMBER

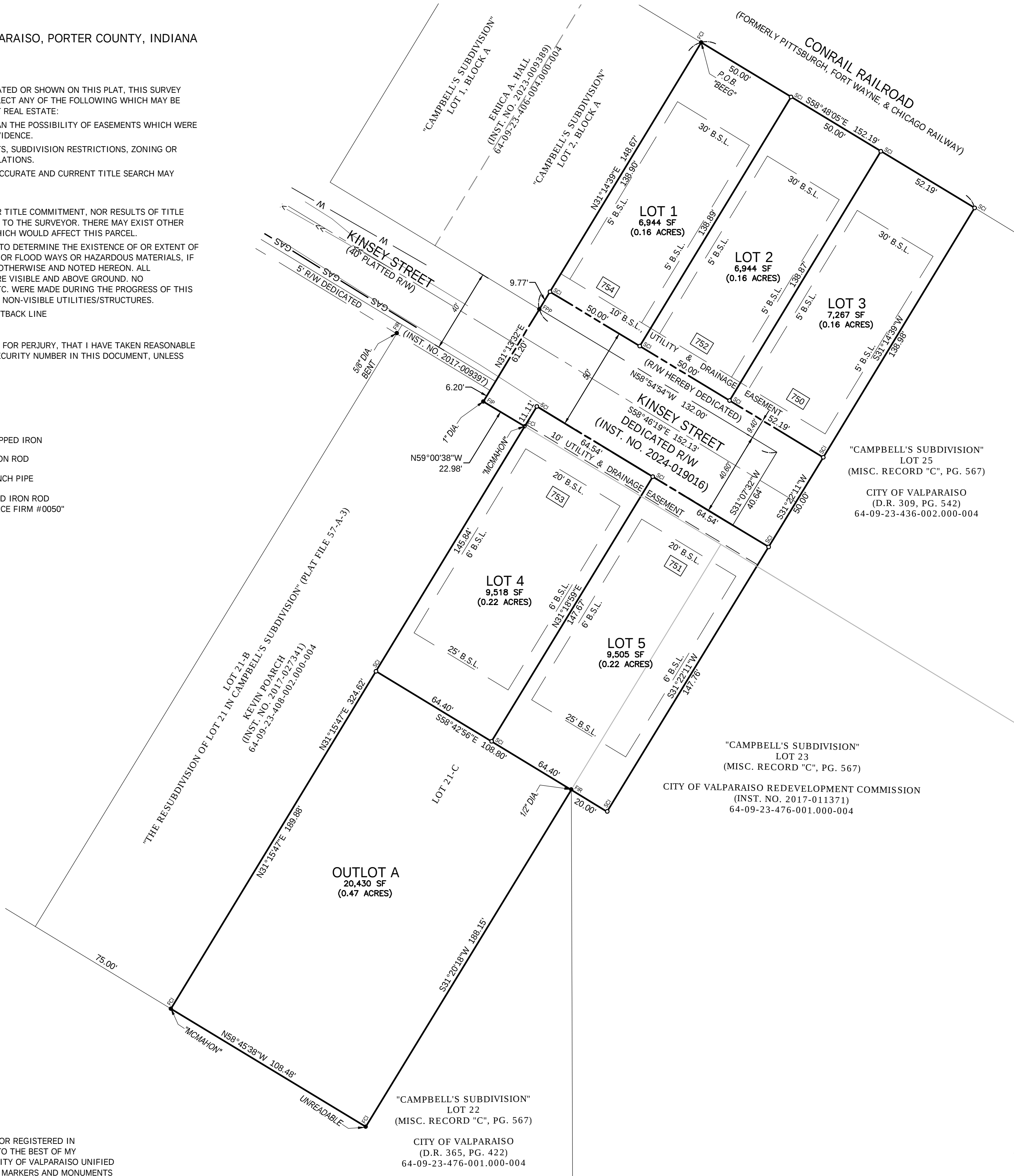
GENERAL NOTES

- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE:
 - EASEMENTS, OTHER THAN THE POSSIBILITY OF EASEMENTS WHICH WERE VISIBLE BY PHYSICAL EVIDENCE.
 - RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS.
 - ANY FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - OWNERSHIP OR TITLE.
- NO ABSTRACT OR TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE FURNISHED TO THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- NO EFFORT HAS BEEN MADE TO DETERMINE THE EXISTENCE OF OR EXTENT OF "WETLANDS", FLOOD PLAINS OR FLOOD WAYS OR HAZARDOUS MATERIALS, IF ANY EXIST, UNLESS SHOWN OTHERWISE AND NOTED HEREON. ALL IMPROVEMENTS SHOWN WERE VISIBLE AND ABOVE GROUND. NO EXCAVATIONS, PROBINGS, ETC. WERE MADE DURING THE PROGRESS OF THIS SURVEY FOR ANY BURIED OR NON-VISIBLE UTILITIES/STRUCTURES.
- B.S.L. DENOTES BUILDING SETBACK LINE

"I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW"

LEGEND

- FCI FOUND CAPPED IRON
- FIR FOUND IRON ROD
- FPP FOUND PINCH PIPE
- SCI SET CAPPED IRON ROD
- "ABONMARCE FIRM #0050"



PRELIMINARY

SURVEYOR'S CERTIFICATION

I, RANDELL S. PETERSON, HEREBY CERTIFY THAT I AM A LAND SURVEYOR REGISTERED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, AND THAT TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO THE REQUIREMENTS OF THE CITY OF VALPARAISO UNIFIED DEVELOPMENT ORDINANCE, AND THE STANDARDS MANUAL; THAT THE MARKERS AND MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST; AND THAT THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE ACCURATELY SHOWN.

RANDELL S. PETERSON, P.S. DATE
PROFESSIONAL SURVEYOR #LS20400012
STATE OF INDIANA

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THE RESUBDIVISION OF LOT 21-C IN THE RESUBDIVISION OF LOT 21 IN
CAMPBELL'S SUBDIVISION AND LOTS 23 & 25 IN CAMPBELL'S SUBDIVISION
SECONDARY PLAT

DRAWN BY:

BRG

FIELDBOOK:

EG/JR

PM REVIEW:

MSK

QA/QC REVIEW:

RSP

DATE:

10/25/2024

SCALE:

AS NOTED

ACI JOB #

24-1288

SHEET NO.

4 of 11

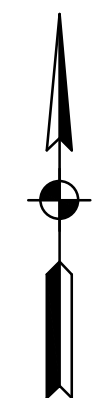
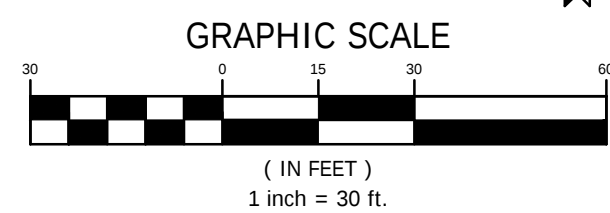
NO. REVISION DESCRIPTION:

BY: DATE:



	REMOVE ABANDONED POWER POLE
	TREE/BRUSH CLEARING AREA
	FULL DEPTH PAVEMENT REMOVAL

1. CONTRACTOR SHALL ABIDE BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR CONSTRUCTION.
2. CONTRACTOR SHALL FOLLOW THE CONSTRUCTION STORMWATER GENERAL PERMIT (CSPG) REGULATIONS AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT.
3. NO CLOSING OF STREETS ALLOWED WITHOUT THE APPROVAL FROM THE CITY OF VALPARAISO. CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC MEASURES AS NECESSARY FOR CONSTRUCTION PER LOCAL STANDARDS AND REQUIREMENTS.
4. UTILITY LOCATIONS ARE TAKEN FROM SUBSTANTIAL ABOVE GROUND EVIDENCE AND APPROXIMATED FROM RECORD AS-BUILTS MADE AVAILABLE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, HYDRANTS, VALVES, UTILITY PEDESTALS AND BOXES, AND MARKS/FLAGS SET ON THE GROUND SURFACE BY OTHERS). PIPE INVERTS HAVE BEEN MEASURED WITH AS MUCH ACCURACY AS CAN BE ACHIEVED WITHOUT CONFINED SPACE ENTRY.
5. USE CAUTION. THERE MAY BE OTHER UTILITIES EXISTING BELOW GROUND THAT WERE NOT MARKED BY OTHERS NOR HAVE VISIBLE ABOVE GROUND EVIDENCE.
6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND DEPTHS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT ENGINEER WITH ANY DISCOVERED DISCREPANCIES AND WAIT FOR INSTRUCTION.
7. CONTRACTOR MUST NOTIFY INDIANA 811, 48 HOURS PRIOR TO ANY EXCAVATION FOR EXISTING UNDERGROUND UTILITY LOCATIONS.
8. CONTRACTOR SHALL INQUIRE ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION FOR LOCATIONS OF UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE UTILITIES TO REMAIN AND BE REMOVED. DURING CONSTRUCTION, WITH OWNER, CONTRACTOR SHALL NOT INTERRUPT UTILITY SERVICES TO EXISTING BUILDINGS WITHOUT RECEIVING PERMISSION FROM THE OWNER AND/OR UTILITY.
9. CONTRACTOR SHALL INVESTIGATE SITE AND CONTACT THE PORTER COUNTY DEPARTMENT OF HEALTH FOR THE EXISTENCE OF ANY EXISTING ACTIVE OR ABANDONED SEPTIC TANK SYSTEM ON SITE. IF A SEPTIC TANK IS DISCOVERED, COORDINATE WITH THE LOCAL HEALTH DEPARTMENT TO PROPERLY REMOVE SEPTIC TANK FOR CONSTRUCTION.
10. CONTRACTOR SHALL FIELD VERIFY FOR ANY WELL LOCATIONS. ANY FOUND WELL(S) MUST BE PROPERLY CAPPED AND ABANDONED BY A LICENSED WELL DRILLER.
11. REMOVE STORM/SANITARY STRUCTURES, AND SURFACE MATERIALS AS INDICATED OR REFERENCED ON THE DRAWINGS TO THEIR FULL EXTENT AND DEPTH UNLESS OTHERWISE NOTED. WHERE PAVEMENT IS PROPOSED FOR REMOVAL, ALL AGGREGATE AND DEBRIS-FILLED SOIL SHALL BE REMOVED.
12. MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND POST-CONSTRUCTION AND NOT TO IMPACT ADJACENT PROPERTY.
13. CONTRACTOR TO REVIEW CONSTRUCTION LIMITS AND SITE REMOVAL LIMITS WITH THE OWNER AND DECIDE IF TEMPORARY CONSTRUCTION FENCE (CHAIN LINK) IS NEEDED AROUND CONSTRUCTION STAGING AND WORK AREAS, THEN INSTALL PRIOR TO CONSTRUCTION ACTIVITIES.
14. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO: UTILITIES, BUILDING, PAVING, IRRIGATION, LIGHTING, OR OTHER IMPROVEMENTS DESIGNATED TO REMAIN.
15. CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF CONTAMINATED SOILS ARE ENCOUNTERED DURING CONSTRUCTION. THESE SOILS MUST BE HAULED OFF-SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH CURRENT LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
16. CONTRACTOR SHALL NOTIFY THE CITY OF VALPARAISO ENGINEERING DEPARTMENT PRIOR TO COMMENCING CONSTRUCTION IN THE RIGHT-OF-WAY.
17. CONTRACTOR SHALL REMOVE ALL VEGETATION REQUIRED FOR CONSTRUCTION. SEE SITE PLANS FOR PROPOSED CONSTRUCTION AREA(S).
18. CONTRACTOR SHALL REMOVE TOPSOIL AND STOCKPILE THE MATERIAL AT A LOCATION APPROVED BY OWNER.
19. REMOVED ITEMS SHALL BE DISPOSED OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND LAWS.
20. CONTRACTOR SHALL COORDINATE RETURNING ANY SALVAGED ITEMS (FENCING, POSTS, SIGNAGE, ETC.) AT THE OWNERS REQUEST.
21. CONTRACTOR SHALL CLEAR AND REMOVE ALL EXISTING STRUCTURES, TREES, SHRUBS, STUMPS, VEGETATION, AND OTHER ABOVE GRADE ITEMS INTERFERING WITH THE PROPOSED CONSTRUCTION, AS SHOWN, ON THE PLANS AND THE OWNERS' DIRECTION. PROTECT EXISTING PLANT MATERIAL AND IMPROVEMENTS, FROM DAMAGE, PER OWNERS' REQUEST.
22. ALL PAVEMENT, CURB, AND SIDEWALKS SHALL BE SAW CUT PRIOR TO REMOVAL TO CREATE CLEAN VERTICAL JOINTS.
23. CONTRACTOR SHALL DESIGNATE A SPECIFIED STAGING AREA FOR RECYCLING, CRUSHING OR REUSING ANY EXISTING SALVAGEABLE PAVEMENT OR OTHER MATERIALS.
24. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS TO APPROPRIATE FACILITY AND NO DEBRIS SHALL BE DISPOSED AND/OR BURIED ON THE PROPERTY.
25. CONSTRUCTION STAGING AND OTHER AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS. IF NOT BETTER, ALL DISTURBED AND CONSTRUCTION TRAFFIC COMPACTED GROUND SHALL BE SCARIFIED TO A MINIMUM 6-INCH DEPTH PRIOR TO RESTORATION. ANY UNDISTURBED LAWN AREAS, WITHIN PROJECT LIMITS SHALL BE MAINTAINED BY THE CONTRACTOR.
26. PAVEMENT AREAS MARKED FOR REMOVAL SHALL INCLUDE, BUT NOT LIMITED TO, ASPHALT, PAVEMENT, CONCRETE PAVEMENT, CONCRETE PADS, CURB, RETAINING WALLS, STAIRS AND RAILINGS, PAVERS AND ANY OTHER HARDSCAPE ITEMS.
27. WHERE PAVEMENT IS PROPOSED FOR REMOVAL, ALL AGGREGATE AND DEBRIS-FILLED SOIL SHALL BE REMOVED AS PART OF DEMOLITION.
28. EXISTING BUILDINGS AND FOUNDATIONS SHALL BE COMPLETELY DEMOLISHED AND REMOVED. ALL ACCUMULATED DEBRIS WITHIN THE EXISTING BUILDING SHALL BE REMOVED AND DISPOSED OF. ALL UTILITIES SHALL BE DISCONNECTED PRIOR TO STARTING DEMOLITION OPERATIONS.



SHEET NO. _____

5 of 11

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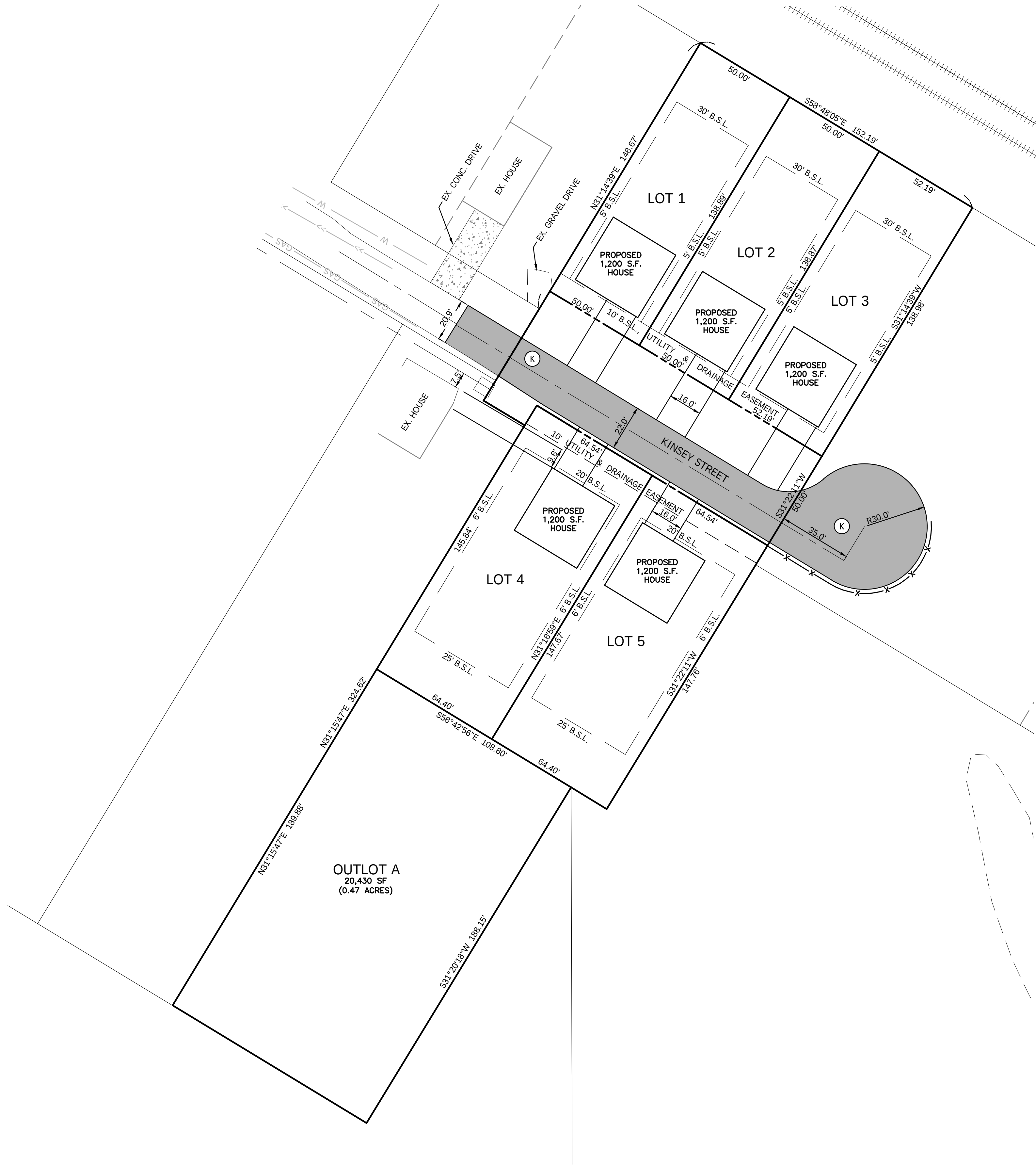
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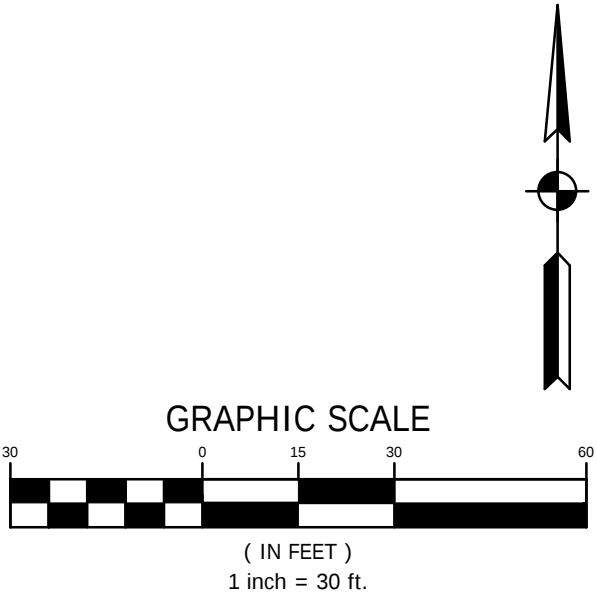
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LEGEND

- COMPACTED AGGREGATE BASE & BITUMINOUS SURFACE (PER CITY OF VALPARAISO TECHNICAL STANDARDS)
- 1 1/2" HMA SURFACE COARSE (165 LBS/SYD)
 - 2 1/2" HMA BINDER COARSE (275 LBS/SYD)
 - 12" AGGREGATE BASE (INDOT #53)
- X—X— GUARD RAIL



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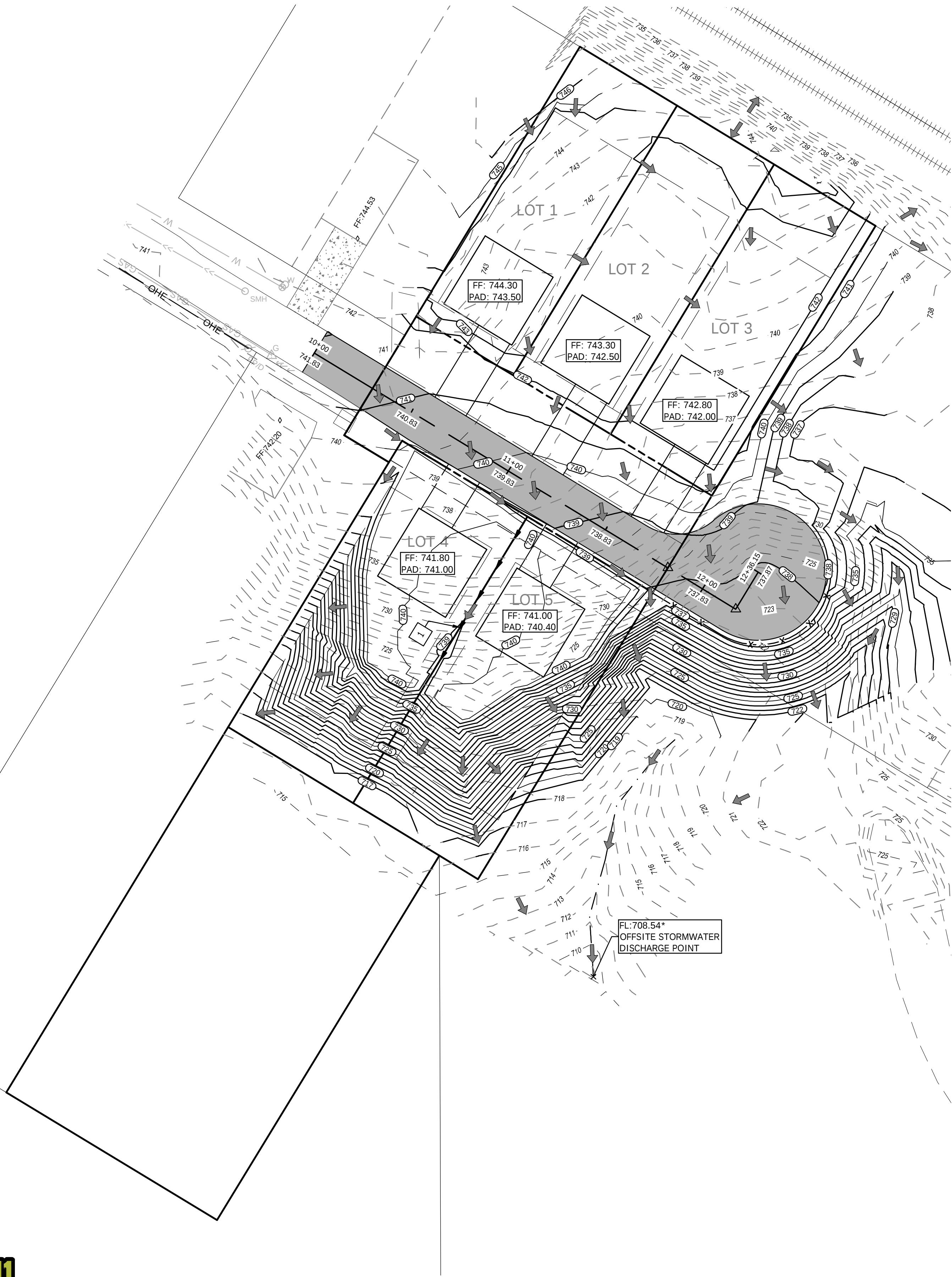
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PROJECT: PARADISE COMMUNITY HOMES SUB.

SHEET TITLE: SUBDIVISION LAYOUT PLAN

DRAWN BY: BRG
DESIGNED BY: BRG
PM REVIEW: MSK
QA/QC REVIEW: DSK
DATE: 12/03/2024
SEAL:

SIGNATURE: _____
DATE: _____
SCALE: _____
HORZ: 1" = 30'
VERT: N/A
ACI JOB #: 24-1288
SHEET NO. 6 of 11



GRADING NOTES

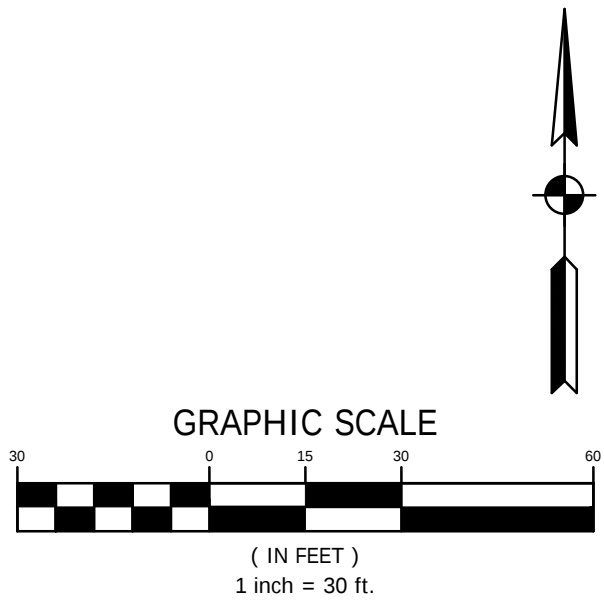
1. CONTRACTOR SHALL FOLLOW THE LATEST MUNICIPALITY AND THE STATE OF INDIANA "CSGP" SOIL EROSION PRACTICES, SEE SWPPP SHEETS.
2. ALL TOPSOIL SHALL BE REMOVED AND TEMPORARILY STOCKPILED ONSITE AT A LOCATION APPROVED BY THE OWNER. A MINIMUM OF FOUR (4) INCHES OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PARKING AREAS.
3. ALL EXPOSED SUBGRADE SHALL BE PROOF-ROLLED AND WITNESSED BY A GEOTECHNICAL ENGINEER OR QUALIFIED REPRESENTATIVE TO DETERMINE UNSUITABLE SOIL LOCATIONS PRIOR TO ANY PAVING OPERATIONS. ANY UNSUITABLE SOIL SHALL BE EXCAVATED, BACKFILLED, AND COMPACTED WITH SUITABLE MATERIAL IN ACCORDANCE WITH THE PLANS AND CAPABLE OF SUPPORTING THE ANTICIPATED LOADINGS OF THE PROJECT.
4. POSITIVE DRAINAGE SHALL BE MAINTAINED TO PREVENT ANY PONDING OF WATER OR ENCROACHMENT ONTO ADJACENT PROPERTIES.
5. PROPOSED CONTOURS SHOW GRADING INTENT ONLY. CONTRACTOR SHALL USE PROPOSED SPOT GRADE ELEVATIONS AND CHECK ALL GRADE STAKES TO ENSURE POSITIVE DRAINAGE TO STORMWATER SYSTEM IS ACHIEVED. CONTACT ENGINEER IF ADDITIONAL GRADES ARE NEEDED OR IF ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION ARE FOUND SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

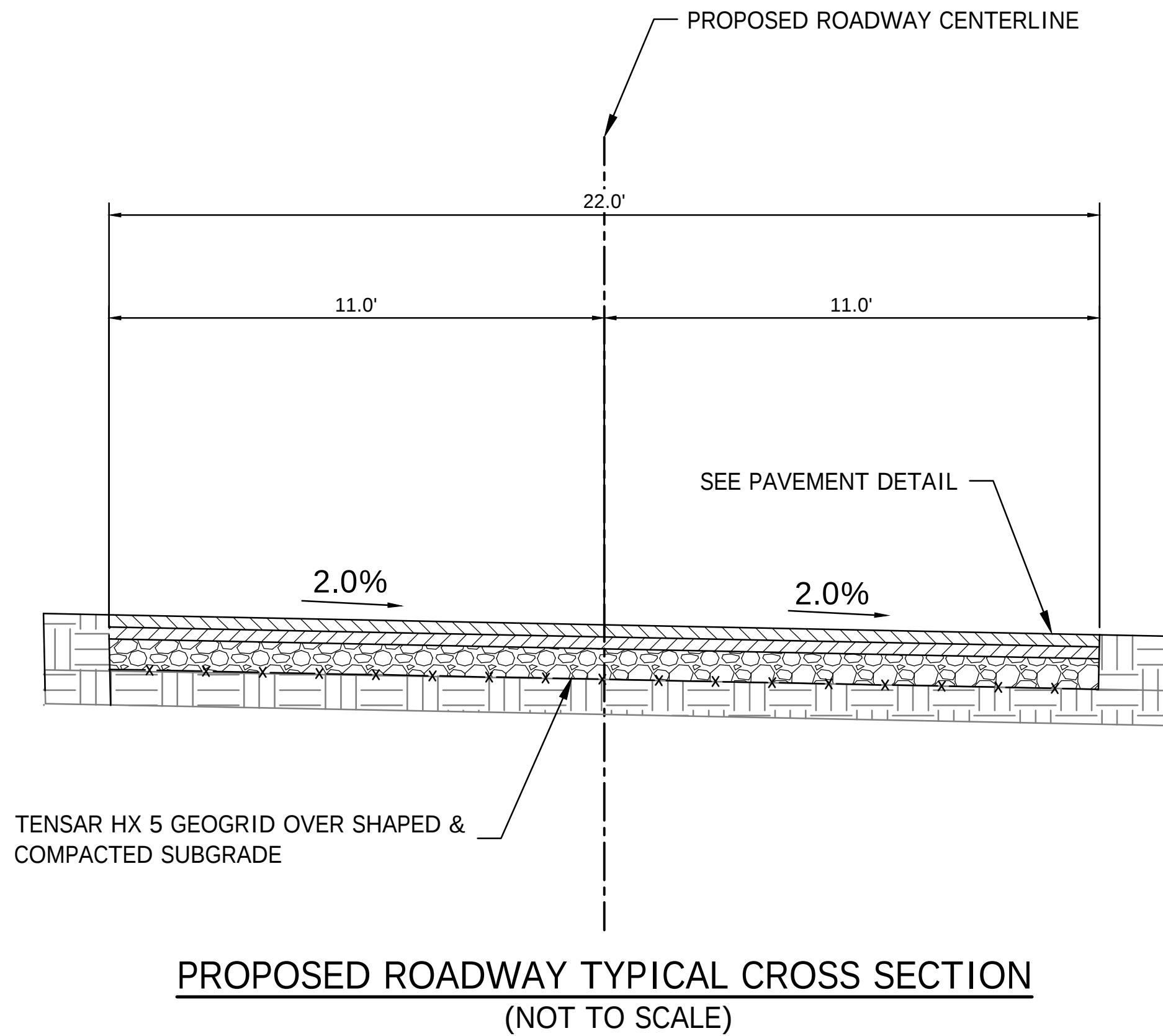
PERMANENT EXCESS SOIL REMOVAL

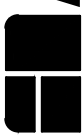
1. EXCESS SOIL AND UNSUITABLE SOIL SHALL BE REMOVED FROM PROJECT SITE TO ANOTHER SITE PERMANENTLY.
2. CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS AND IMPLEMENT EROSION CONTROL MEASURES IN ACCORDANCE TO THE INDIANA CONSTRUCTION GENERAL STORMWATER PERMIT (CSGP) AND ANY LOCAL ORDINANCES.

LEGEND

- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- MATCH EXISTING ELEVATION
- SWALE CENTERLINE
- EXISTING CONTOURS
- YARD SWALE





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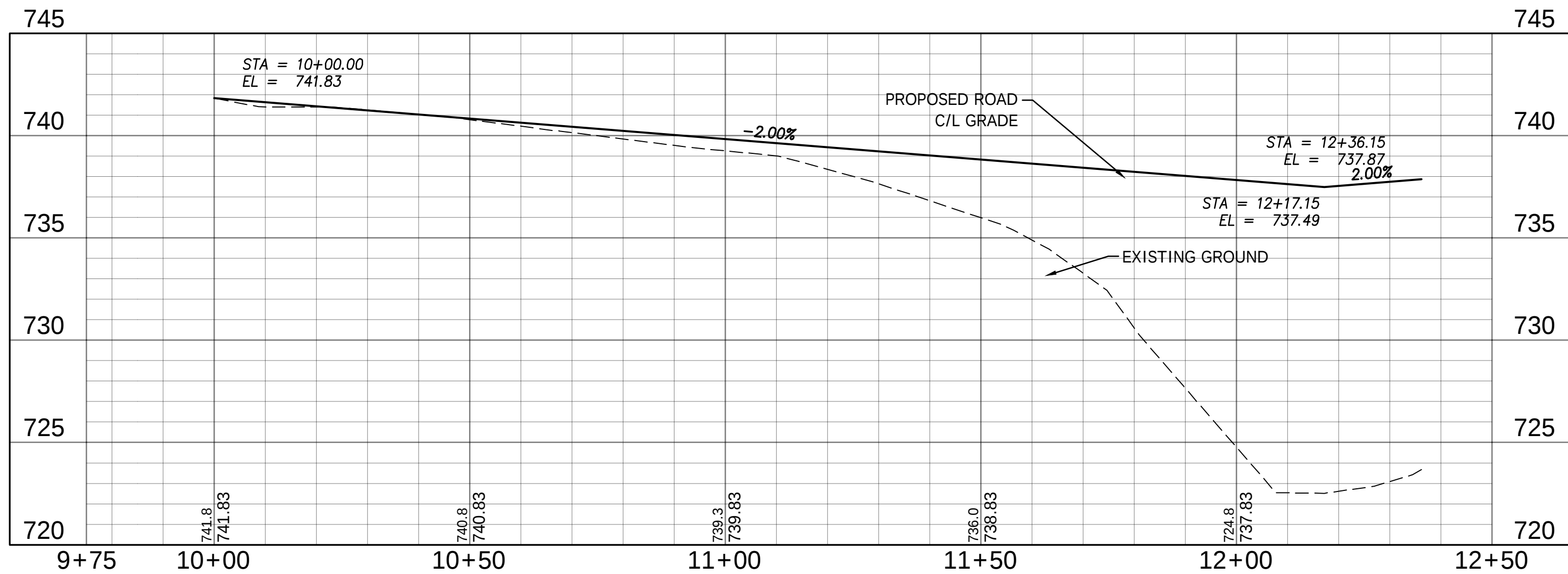
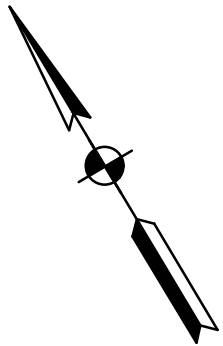
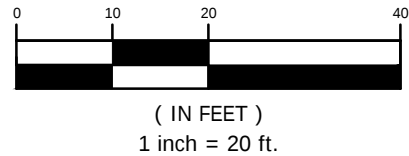
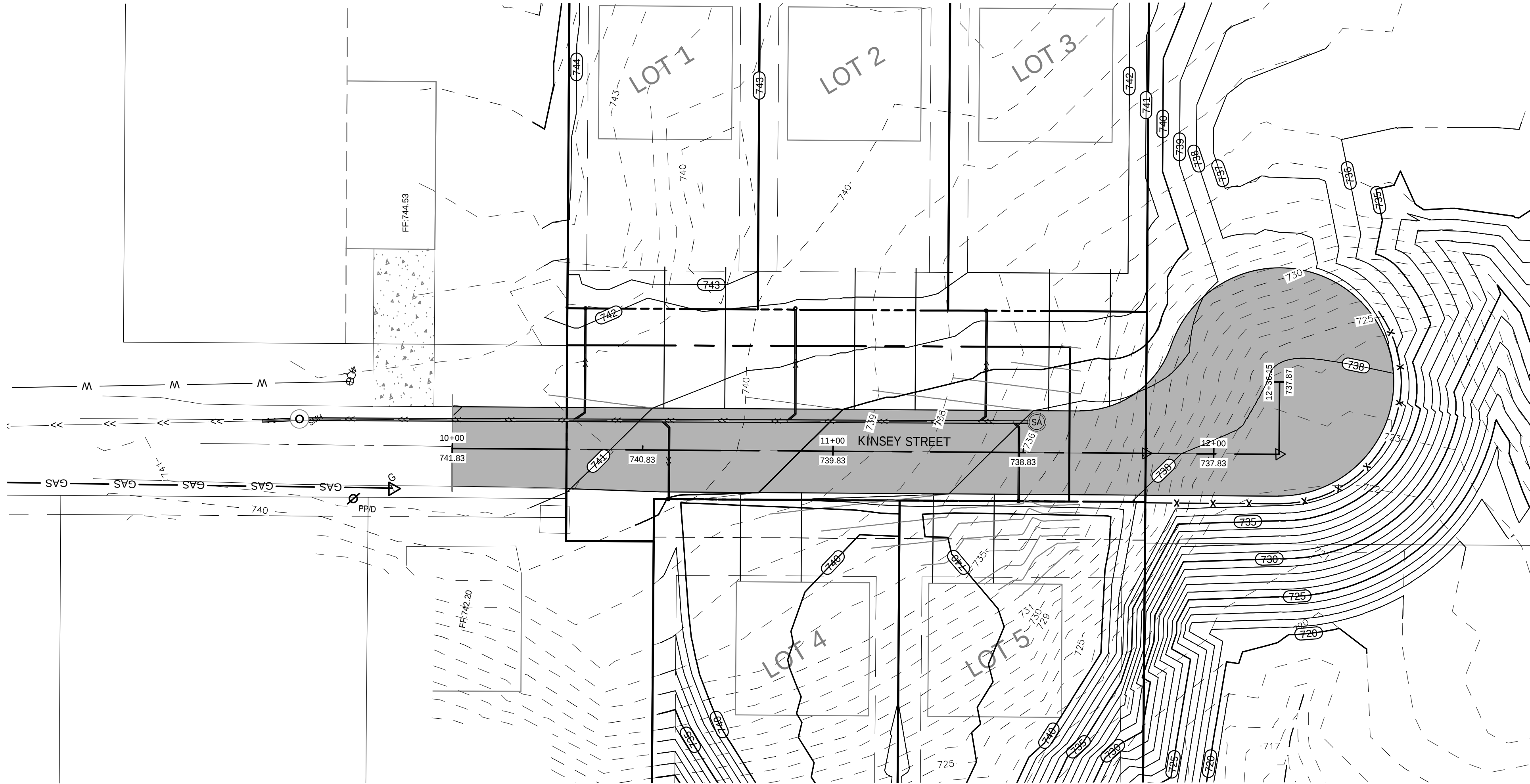
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PROJECT: **PARADISE COMMUNITY HOMES SUB.**

SHEET TITLE: **KINSEY ST. TYPICAL SECTION**

DRAWN BY: **BRG**
DESIGNED BY: **BRG**
PM REVIEW: **MSK**
QA/QC REVIEW: **DSK**
DATE: **12/03/2024**
SEAL:

SIGNATURE:
DATE:
SCALE:
HORZ: **N/A**
VERT: **N/A**
ACI JOB #: **24-1288**
SHEET NO.: **8 of 11**



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PROJECT:
PARADISE COMMUNITY HOMES SUB.

SHEET TITLE:
KINSEY ST PLAN & PROFILE

DRAWN BY:
BRG

DESIGNED BY:
BRG

PM REVIEW:
MSK

QA/QC REVIEW:
DSK

DATE:
12/03/2024

SEAL:

SIGNATURE:

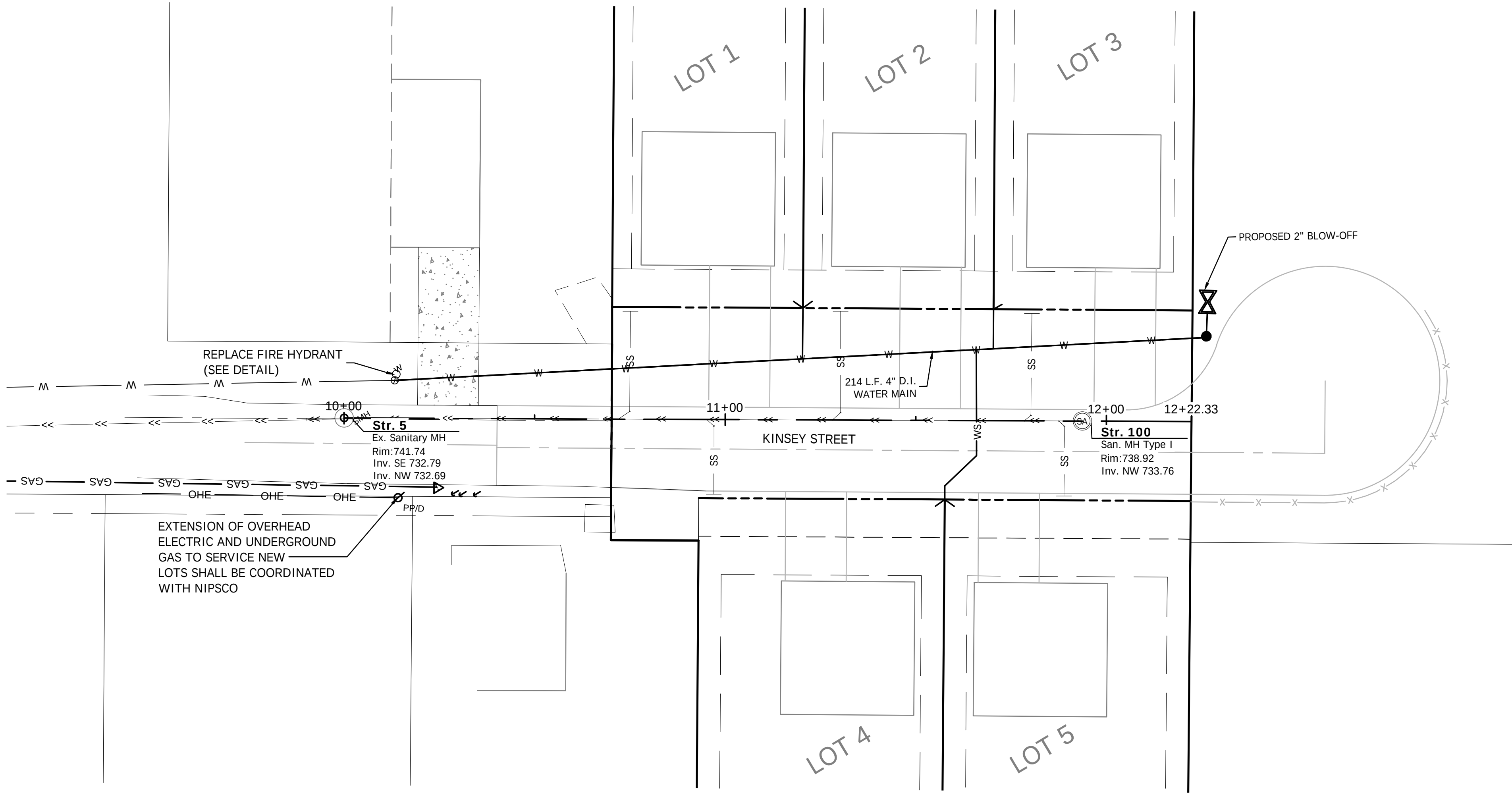
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SCALE:
HORZ: 1" = 20'
VERT: 1" = 5'

ACI JOB #
24-1288

SHEET NO.

9 of 11



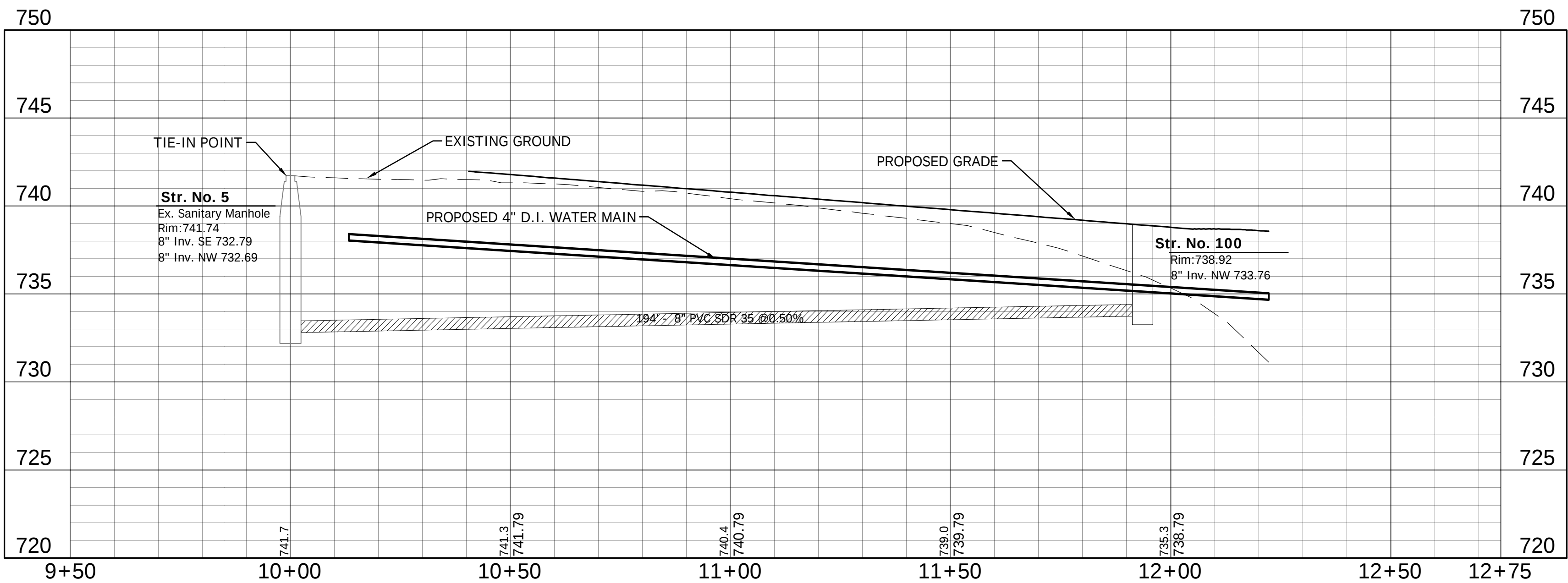
CONSTRUCTION NOTES

- SEE COVER SHEET FOR VICINITY AND LOCATION MAPS. POSITIVE DRAINAGE SHALL BE MAINTAINED TO PREVENT ANY PONDING OF WATER OR ENCROACHMENT ONTO ADJACENT PROPERTIES.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY COORDINATION. CONTRACTOR SHALL INQUIRE ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION FOR LOCATIONS OF UNDERGROUND UTILITIES. ANY DAMAGES DONE TO ANY PUBLIC AND/OR PRIVATE PROPERTIES DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR ALL TAPPING FEES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PROJECT PERMITS FROM ALL RESPECTIVE GOVERNMENTAL AGENCIES WITH THE EXCEPTION OF THE CONSTRUCTION STORMWATER GENERAL PERMIT (CSGP). THE DEVELOPER SHALL OBTAIN THIS PERMIT.

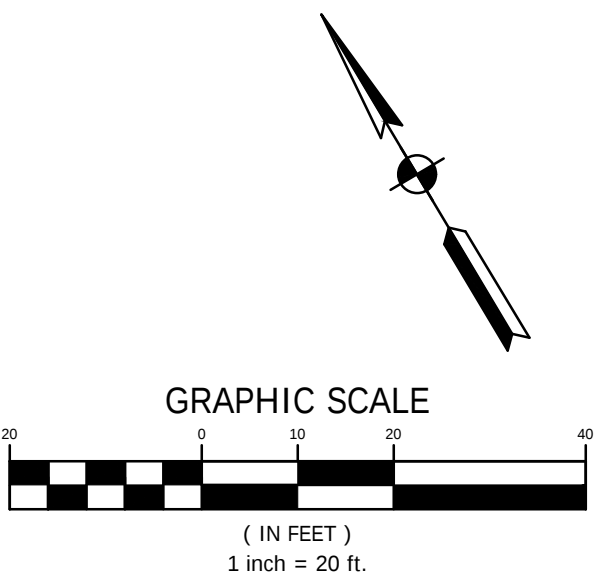
LEGEND

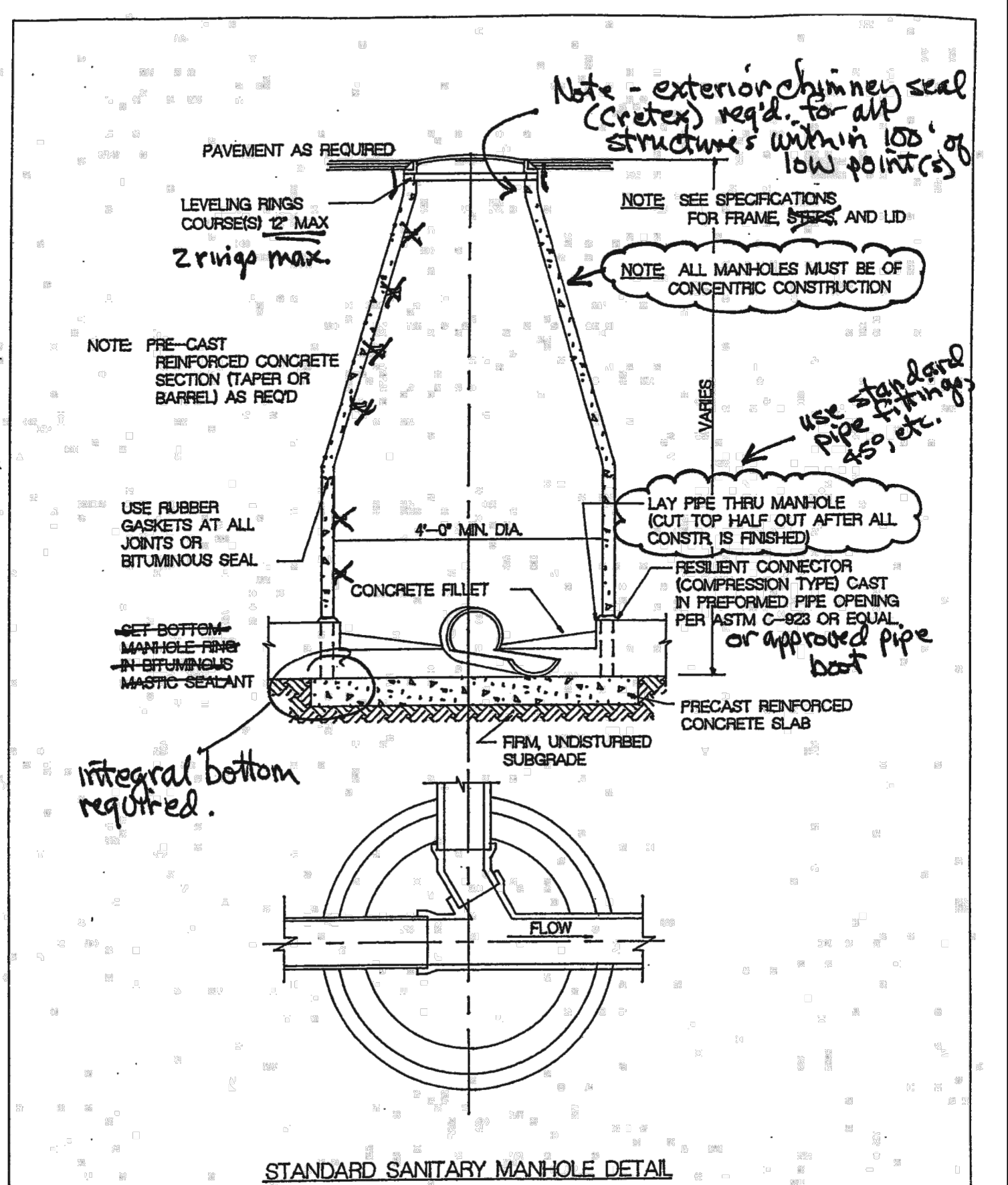
- W WATER MAIN
- BLOW-OFF ASSEMBLY
- >>> SANITARY MAIN
- SA SANITARY MANHOLE
- SS SANITARY SERVICE STUB
- WS WATER SERVICE TAP

NOTE: PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURES.

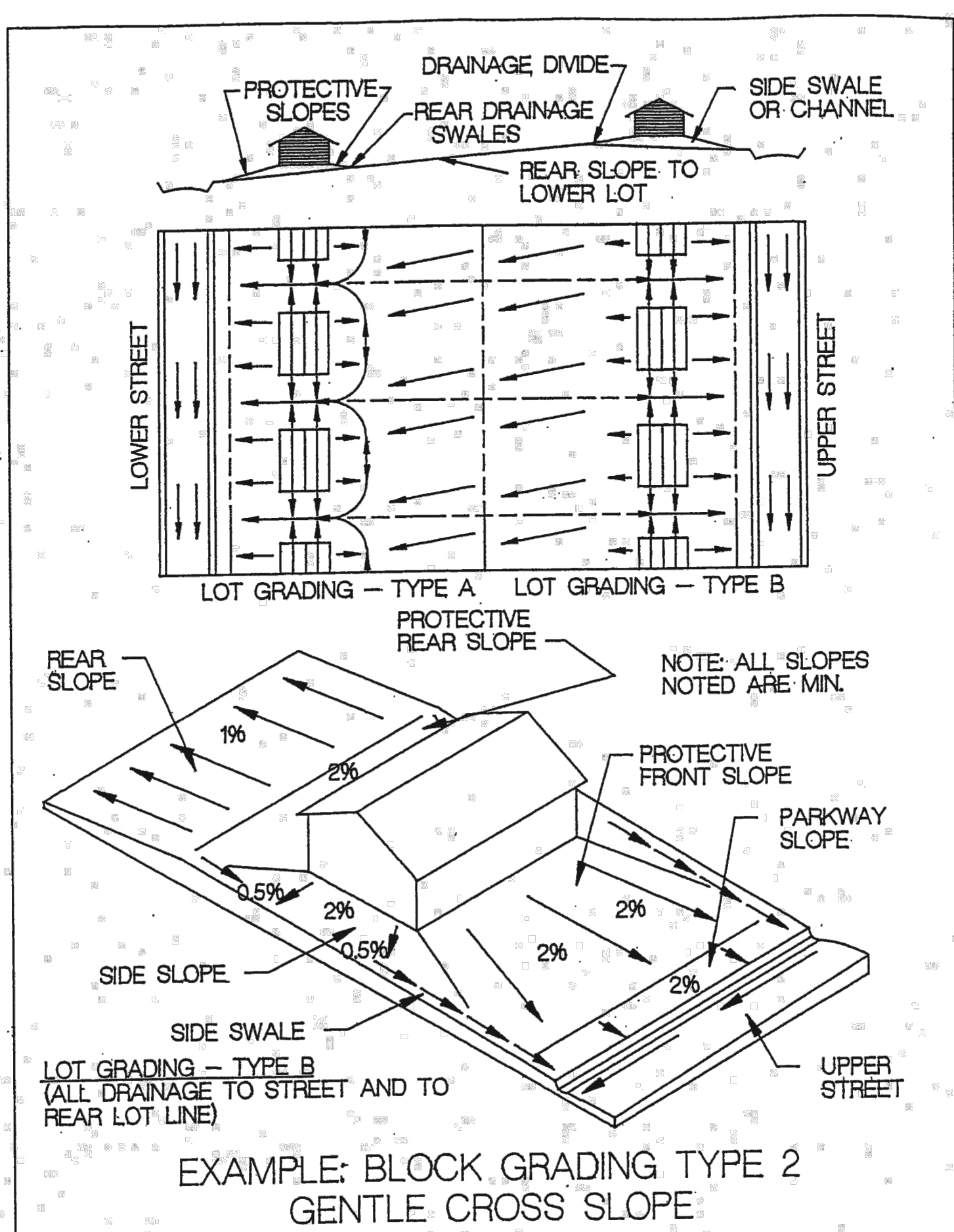


CALL 811 OR (800) 382-5544
24 HOURS A DAY, SEVEN DAYS A WEEK

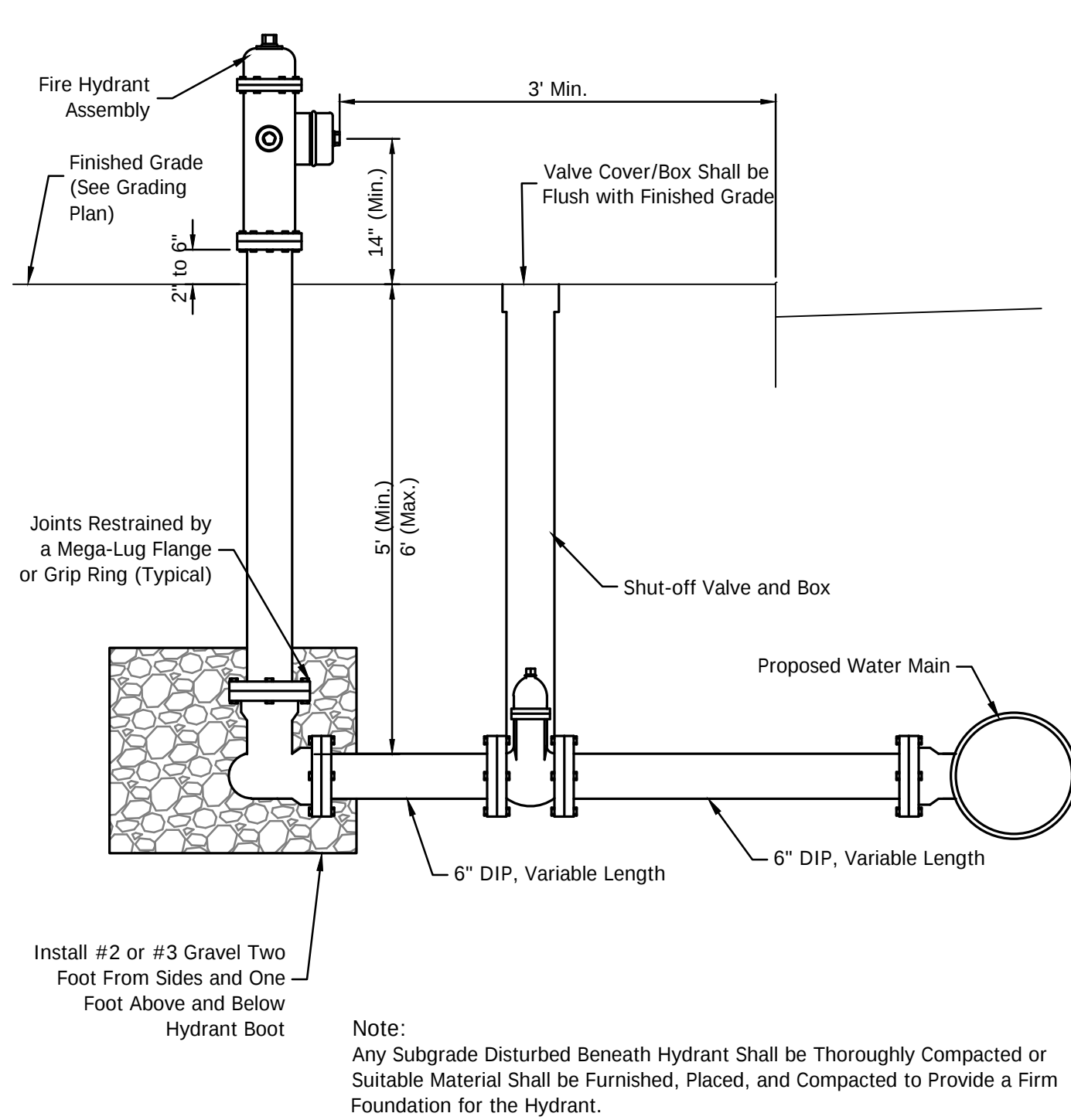




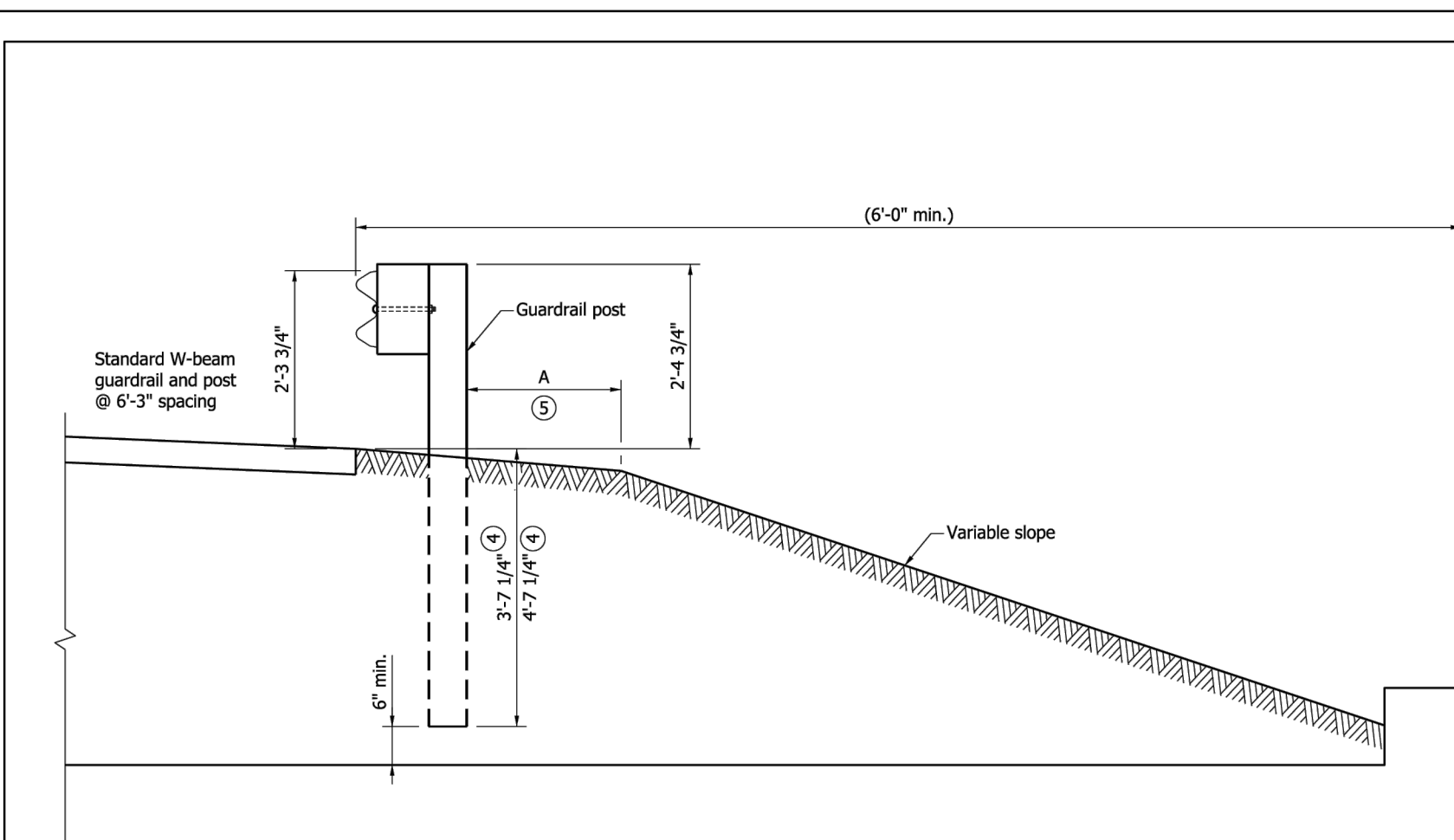
NO.	BY	DATE	REVISION	BOARD OF PUBLIC WORKS VALPARAISO, INDIANA	NO.
				ENGINEERS DEPARTMENT	H
				DATE DR APPROVED:	02



NO.	BY	DATE	REVISION	BOARD OF PUBLIC WORKS VALPARAISO, INDIANA	NO.
				ENGINEER'S DEPARTMENT	14
				DATE	
				DR	
				APPROVED:	



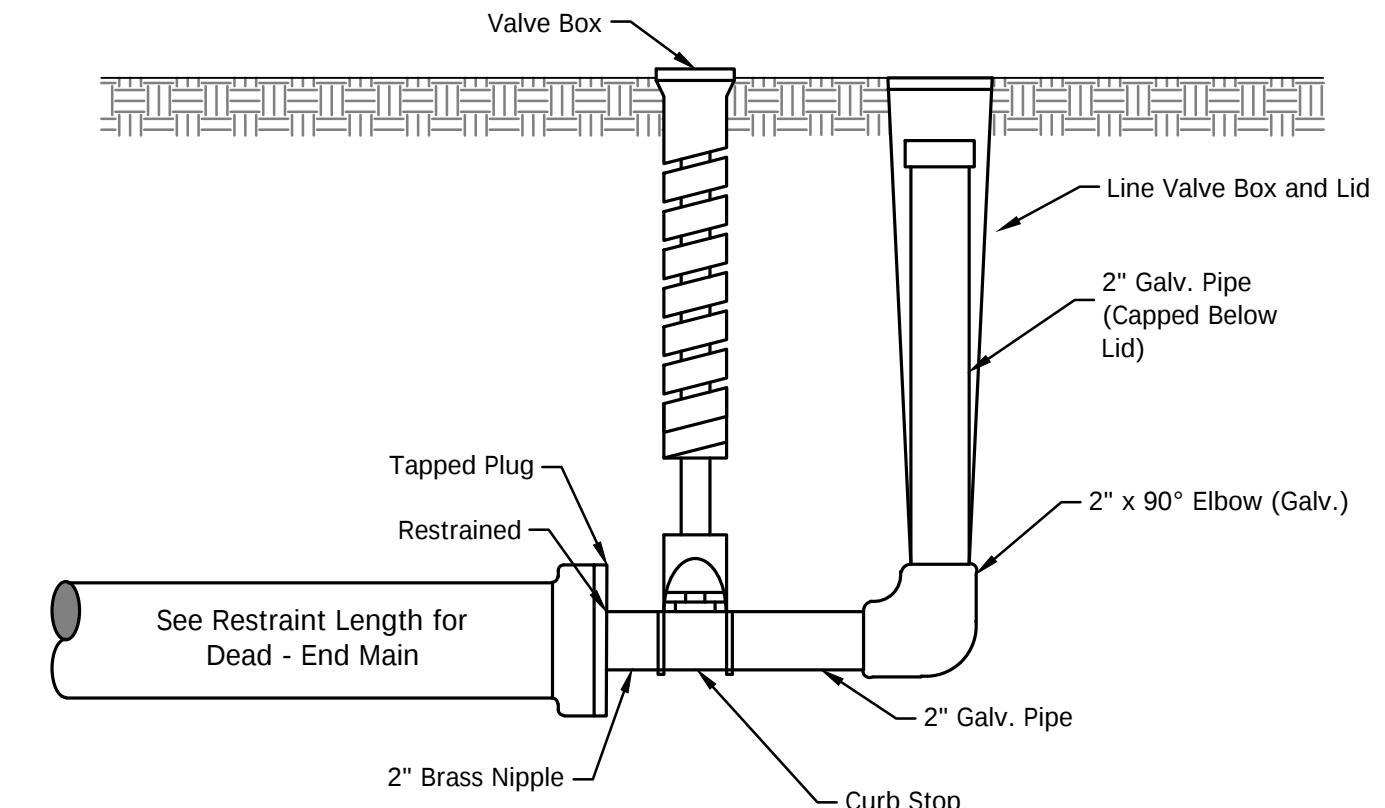
STANDARD FIRE HYDRANT ASSEMBLY
(NOT TO SCALE)



GUARDRAIL ASSEMBLY FOR COVER $\geq 4'-1 \frac{1}{4}''$
FOR ANY STRUCTURE WIDTH

- NOTES:
1. This drawing shall be used for any structure width provided cover over structure $\geq 4'-1 \frac{1}{4}''$.
 2. The 6'-0" length guardrail post shall be used if $4'-1 \frac{1}{4}'' < \text{cover} \leq 5'-1 \frac{1}{4}''$.
 3. The 7'-0" long guardrail post shall be used if cover $> 5'-1 \frac{1}{4}''$.
 4. 3'-7 1/4" for 6'-0" length post and 4'-7 1/4" for 7'-0" length post.
 5. A = 2'-0" for 6'-0" length post.
A = 0 (min.) for 7'-0" length post.

INDIANA DEPARTMENT OF TRANSPORTATION	
GUARDRAIL ASSEMBLY FOR ANY STRUCTURE WIDTH	
SEPTEMBER 2011	
STANDARD DRAWING NO. E 601-NWGA-04	
	/s/ Richard L. VanCleave 09/01/11 DESIGN STANDARDS ENGINEER DATE
	/s/ Mark A. Miller 09/01/11 CHIEF HIGHWAY ENGINEER DATE



- Notes:
1. All Materials Furnished by Contractor and Installed by Contractor, Unless Otherwise Specified.
 2. Tracing Wire Required for All Non-metal Pipe and for All Iron Pipe 12" in Diameter and Larger.
 3. All Permanently Installed Mainline Valves Shall Include a Valve Box and Lid per STR-43.

PERMANENT BLOW-OFF ASSEMBLY INSTALLATION
(NOT TO SCALE)

SHEET TITLE:
DRAWN BY: BRG
DESIGNED BY: BRG
PM REVIEW: MSK
QA/QC REVIEW: DSK
DATE: 12/03/2024
SEAL:

SIGNATURE:
DATE:
SCALE: HORZ: N/A VERT: N/A
ACI JOB # 24-1288
SHEET NO. 11 of 11

THE RESUBDIVISION OF LOT 21-C IN THE RESUBDIVISION OF LOT 21
IN CAMPBELL'S SUBDIVISION AND LOTS 23 & 25 IN CAMPBELL'S SUBDIVISION

A SUBDIVISION LOCATED IN VALPARAISO, INDIANA. PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 6 WEST, CITY OF VALPARAISO, PORTER COUNTY, INDIANA

BOARD OF PUBLIC WORKS AND SAFETY CERTIFICATION

THIS PLAT WAS EXAMINED BY THE BOARD OF PUBLIC WORKS AND SAFETY OF THE CITY OF VALPARAISO FOR COMPLIANCE WITH THE STANDARDS MANUAL AND APPROVED THIS ____ DAY OF _____, 2024.

_____, MAYOR

_____, MEMBER

_____, MEMBER

ATTEST: _____, CLERK-TREASURER

LEGAL DESCRIPTION

LOT 21-C OF THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION, AS PER PLAT THEREOF RECORDED APRIL 26, 2017, IN PLAT FILE 57-A-3 AND AS INSTRUMENT NUMBER 2017-009397 AS RECORDED IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA, A PART OF LOT 23 AND LOT 25 IN CAMPBELL'S SUBDIVISION, IN THE CITY OF VALPARAISO, AS PER PLAT THEREOF RECORDED IN MISCELLANEOUS RECORD "C", PAGE 567 IN SAID RECORDER'S OFFICE AND A PARCEL LAND DEDICATED AS PUBLIC ROAD RIGHT-OF-WAY TO THE CITY OF VALPARAISO AS PER DEED OF DEDICATION RECORDED AS INSTRUMENT NUMBER 2022-024191 IN SAID RECORDER'S OFFICE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8 INCH REBAR WITH A "BEEG" CAP FOUND AT THE NORTHWEST CORNER OF SAID LOT 25 OF CAMPBELL'S SUBDIVISION; THENCE ALONG THE SOUTH LINE OF THE CONRAIL RAILROAD (FORMERLY PITTSBURGH, FORT WAYNE, & CHICAGO RAILWAY) RIGHT-OF-WAY SOUTH 58°48'05" EAST 152.19 FEET TO A 5/8 INCH REBAR WITH ID CAP STAMPED "ACI FIRM 0050"; THENCE SOUTH 31°14'39" WEST 138.98 FEET TO AN ACI MONUMENT; THENCE SOUTH 31°22'11" WEST 50.00 FEET TO AN ACI MONUMENT; THENCE SOUTH 31°22'11" WEST 147.76 FEET TO AN ACI MONUMENT; THENCE NORTH 58°42'56" WEST 20.00 FEET TO THE EAST LINE OF THE AFOREMENTIONED LOT 21-C ALSO BEING THE SOUTHEAST CORNER OF A PARCEL DESCRIBED IN A QUIT-CLAIM DEED TO THE CITY OF VALPARAISO AND RECORDED AS INSTRUMENT NUMBER 2024-XXXXX; THENCE SOUTH 31°22'18" WEST ALONG SAID EAST LINE 188.15 FEET; THENCE NORTH 58°45'38" WEST ALONG THE SOUTH LINE OF SAID LOT 21-C 108.48 FEET TO A 5/8 INCH REBAR WITH "MCMAHON" CAP FOUND AT THE SOUTHWEST CORNER OF SAID LOT 21-C; THENCE NORTH 31°15'47" EAST ALONG THE WEST LINE OF SAID LOT 21-C 324.62 FEET TO A 5/8 INCH REBAR WITH "MCMAHON" CAP FOUND AT THE NORTHWEST CORNER OF SAID LOT 21-C ALSO BEING THE SOUTH LINE OF THE KINSEY STREET RIGHT-OF-WAY PARCEL AS DEDICATED BY INSTRUMENT NUMBER 2022-024191 RECORDED IN SAID RECORDER'S OFFICE; THENCE NORTH 59°00'38" WEST ALONG THE SOUTH LINE OF KINSEY STREET 22.98 FEET TO AN IRON PIPE FOUND AT THE SOUTHWESTERLY CORNER OF SAID KINSEY STREET RIGHT-OF-WAY PARCEL; THENCE NORTH 31°13'32" EAST ALONG THE WEST LINE OF SAID KINSEY STREET RIGHT-OF-WAY PARCEL 51.43 FEET TO A PINCH PIPE AT THE SOUTHEAST CORNER OF LOT 2 IN CAMPBELL'S SUBDIVISION RECORDED AS INSTRUMENT NUMBER 2023-009389 IN SAID RECORDER'S OFFICE; THENCE NORTH 31°14'39" EAST ALONG THE WEST LINE OF SAID LOT 2 A DISTANCE OF 148.67 FEET TO THE POINT OF BEGINNING, CONTAINING 1.572 ACRES, MORE OR LESS. BEARINGS IN THE FOREGOING DESCRIPTION ARE REFERENCED TO GRID NORTH OF THE INDIANA STATE PLANE COORDINATE SYSTEM (WEST ZONE/NAD83-2011 ADJ.), AS DETERMINED BY GNSS OBSERVATIONS.

DEED OF DEDICATION

WE, THE UNDERSIGNED, _____, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED, AND SUBDIVIDED SAID REAL ESTATE IN ACCORDANCE WITH THE ATTACHED PLAT. THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS THE RESUBDIVISION OF LOT 21-C IN THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION, AND LOTS 23 & 25 IN CAMPBELL'S SUBDIVISION. ALL STREETS AND ALLEYS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC. THERE ARE STRIPS OF GROUND OF VARIOUS WIDTHS SHOWN ON THIS PLAT AND LABELED AS EASEMENTS FOR VARIOUS PURPOSES. UTILITY EASEMENTS ARE RESERVED FOR THE USE OF PUBLIC UTILITIES FOR THE INSTALLATION OF MAINS, POLES, DUCTS, LINES, AND WIRES, SUBJECT AT ALL TIMES TO THE PROPER AUTHORITIES AND TO THE EASEMENT HEREIN RESERVED. DRAINAGE EASEMENTS ARE RESERVED FOR THE USE OF THE CITY, HOMEOWNERS, AND/OR THE PROPERTY OWNER'S ASSOCIATION TO PROVIDE FOR THE CONSTRUCTION, MAINTENANCE, AND OPERATION OF DRAINAGE CONDUITS, SWALES, CHANNELS, OVERFLOWS, DETENTION BASINS, OR OTHER RUNOFF MANAGEMENT FACILITIES. A CONSERVATION EASEMENT IS HEREBY DEDICATED OVER AND ACROSS OUTLOT "A" AND IS GRANTED IN FAVOR OF THE OWNER(S) OF OUTLOT "A" AND THE CITY OF VALPARAISO, ITS AGENTS, REPRESENTATIVES, AND ASSIGNS. SUCH EASEMENTS HAVE BEEN CREATED TO PROTECT THE ENVIRONMENTAL VALUE OF SUCH AREAS AND TO PROTECT THE NATURAL RESOURCES LOCATED THEREIN. SUCH CONSERVATION EASEMENTS PROHIBIT ANY PERSON FROM INTERFERING WITH OR DAMAGING THE NATURAL RESOURCES LOCATED THEREIN. NO STRUCTURES, BUILDING, PARKING LOTS, ROADS, PAVEMENT, OR OTHER IMPROVEMENTS SHALL BE BUILT IN AND NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE WITHIN SUCH AREAS WITH THE EXCEPTION OF THOSE NECESSARY AND PROPERLY AUTHORIZED TO INSPECT, MAINTAIN, RESTORE AND ENHANCE THE NATURAL RESOURCES LOCATED THEREIN. THE INSPECTION AND MAINTENANCE OF THE NATURAL RESOURCES LOCATED WITHIN SUCH AREAS SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF OUTLOT "A". THE CITY OF VALPARAISO, ITS AGENTS, REPRESENTATIVES, AND ASSIGNS, IS HEREBY GRANTED THE RIGHT TO REQUEST REMOVAL AND/OR REMOVE ANY INTERFERENCE OR DAMAGE TO NATURAL RESOURCES LOCATED WITHIN SUCH EASEMENTS. THE CITY OF VALPARAISO, ITS AGENTS, REPRESENTATIVES, AND ASSIGNS, IS HEREBY GRANTED THE RIGHT, BUT NOT THE RESPONSIBILITY, TO ENTER SUCH CONSERVATION EASEMENTS IN ORDER TO INSPECT, MAINTAIN, RESTORE, AND ENHANCE THE NATURAL RESOURCES LOCATED THEREIN. SUCH CONSERVATION EASEMENTS ARE BINDING ON ALL HEIRS, SUCCESSORS, AND ASSIGNS TO THE PROPERTY ON WHICH THEY ARE LOCATED. THE CITY OF VALPARAISO, OR ITS SUCCESSOR UNIT OF GOVERNMENT, MAY ENFORCE THE PROVISIONS OF SUCH EASEMENTS AS IF SUCH EASEMENTS WERE A STANDARD OF THE CITY OF VALPARAISO UNIFIED DEVELOPMENT ORDINANCE, OR ITS SUCCESSOR ORDINANCE. SUCH EASEMENTS SHALL BE MODIFIED OR VACATED IN THE MANNER STIPULATED IN THE CITY OF VALPARAISO UNIFIED DEVELOPMENT ORDINANCE, OR ITS SUCCESSOR ORDINANCE. NO PERMANENT OR OTHER STRUCTURES ARE TO BE ERRECTED OR MAINTAINED UPON SAID EASEMENTS. OWNERS OF LOTS IN THIS SUBDIVISION SHALL TAKE THEIR TITLES SUBJECT TO THE RIGHTS OF THE PUBLIC UTILITIES AND TO THE RIGHTS OF THE OWNERS OF OTHER LOTS IN THIS SUBDIVISION.

WITNESS OUR HANDS AND SEALS THIS ____ DAY OF _____, 2024.

STATE OF INDIANA)

SS: COUNTY OF PORTER)

BEFORE ME, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED _____ AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING AS THEIR VOLUNTARY ACT AND DEED.

THIS ____ DAY OF _____, 2024.

THIS ____ DAY OF _____, 2024.

NOTARY PUBLIC -

NOTARY PUBLIC -

PRINTED NAME -

PRINTED NAME -

MY COMMISSION EXPIRES: _____

MY COMMISSION EXPIRES: _____

PLAN COMMISSION CERTIFICATE

UNDER AUTHORITY PROVIDED BY INDIANA CODE 36-7-4, ET SEQ. ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ORDINANCE ADOPTED BY THE COMMON COUNCIL OF THE CITY OF VALPARAISO, THIS PLAT WAS GIVEN APPROVAL BY THE CITY AS FOLLOWS:

APPROVED BY THE VALPARAISO PLAN COMMISSION AT A REGULAR MEETING HELD ON:

_____, 2024

PRESIDENT, MEMBER

EXECUTIVE DIRECTOR, MEMBER

GENERAL NOTES

- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE:
 - EASEMENTS, OTHER THAN THE POSSIBILITY OF EASEMENTS WHICH WERE VISIBLE BY PHYSICAL EVIDENCE.
 - RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND-USE REGULATIONS.
 - ANY FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
 - OWNERSHIP OR TITLE.
- NO ABSTRACT OR TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE FURNISHED TO THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD, WHICH WOULD AFFECT THIS PARCEL.
- NO EFFORT HAS BEEN MADE TO DETERMINE THE EXISTENCE OF OR EXTENT OF "WETLANDS", FLOOD PLAINS OR FLOOD WAYS OR HAZARDOUS MATERIALS, IF ANY EXIST, UNLESS SHOWN OTHERWISE AND NOTED HEREON. ALL IMPROVEMENTS SHOWN WERE VISIBLE AND ABOVE GROUND. NO EXCAVATIONS, PROBINGS, ETC. WERE MADE DURING THE PROGRESS OF THIS SURVEY FOR ANY BURIED OR NON-VISIBLE UTILITIES/STRUCTURES.
- B.S.L. DENOTES BUILDING SETBACK LINE

"I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW"

LEGEND

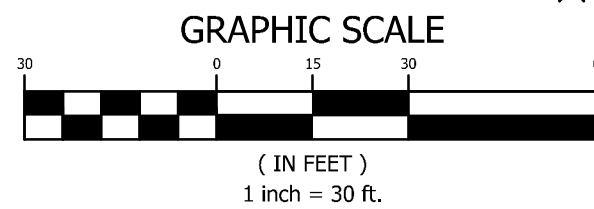
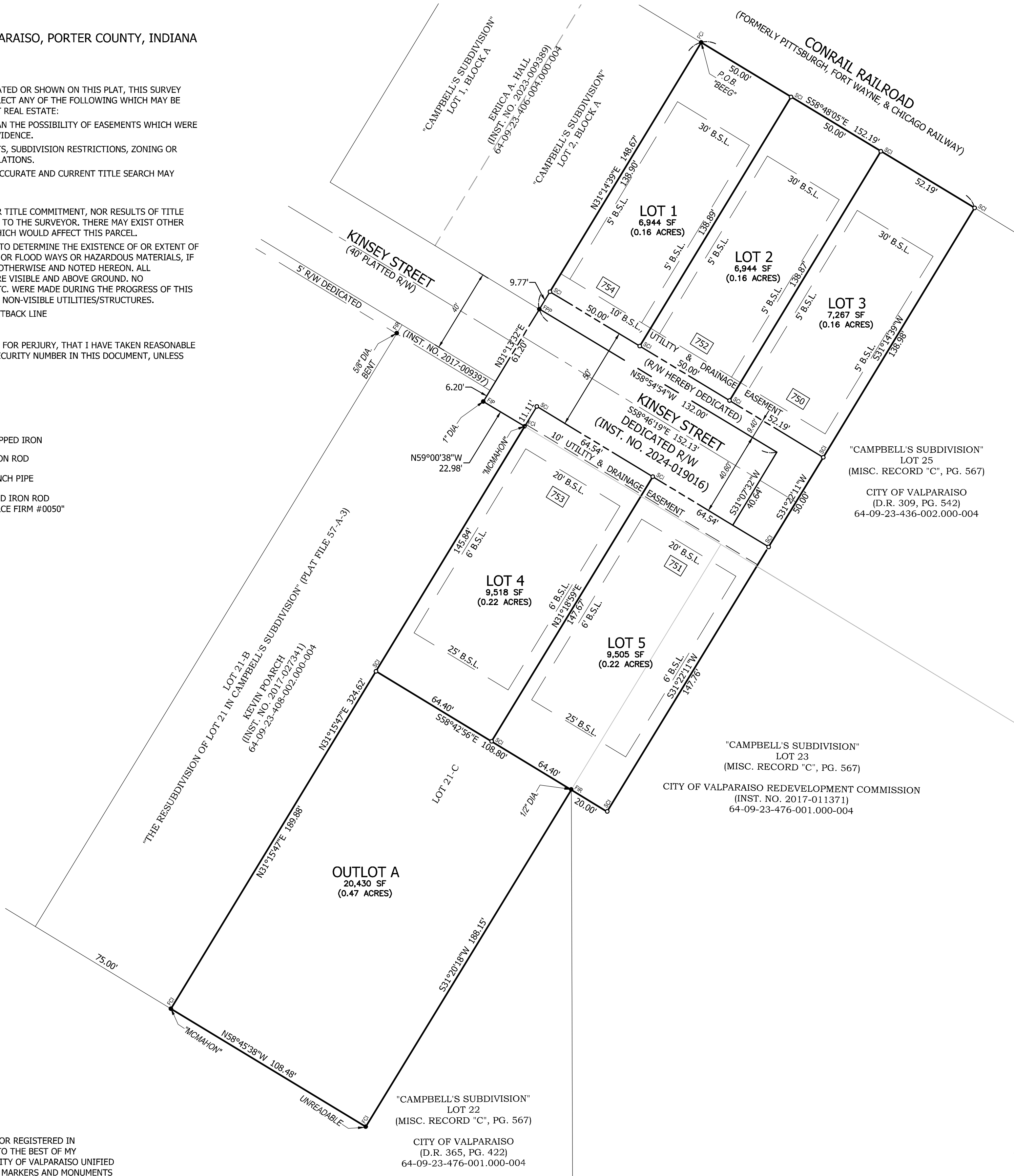
- FCI FOUND CAPPED IRON
- FIR FOUND IRON ROD
- FPP FOUND PINCH PIPE
- SCI SET CAPPED IRON ROD
- "ABONMARCE FIRM #0050"

SURVEYOR'S CERTIFICATION

I, RANDELL S. PETERSON, HEREBY CERTIFY THAT I AM A LAND SURVEYOR REGISTERED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA, AND THAT TO THE BEST OF MY KNOWLEDGE, THIS PLAT CONFORMS TO THE REQUIREMENTS OF THE CITY OF VALPARAISO UNIFIED DEVELOPMENT ORDINANCE, AND THE STANDARDS MANUAL; THAT THE MARKERS AND MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST; AND THAT THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE ACCURATELY SHOWN.

RANDELL S. PETERSON, P.S. DATE
PROFESSIONAL SURVEYOR #LS20400012
STATE OF INDIANA

PRELIMINARY



NO. REVISION DESCRIPTION: BY: DATE:

ABONMARCHE

Valparaiso
Indianapolis
Fort Wayne
Grand Rapids

Engineering Architecture Land Surveying

THE RESUBDIVISION OF LOT 21-C IN THE RESUBDIVISION OF LOT 21 IN
CAMPBELL'S SUBDIVISION AND LOTS 23 & 25 IN CAMPBELL'S SUBDIVISION
SECONDARY PLAT

DRAWN BY:

BRG

FIELDBOOK:

EG/JR

PM REVIEW:

MSK

QA/QC REVIEW:

RSP

DATE:

10/25/2024

SCALE:

AS NOTED

ACT JOB #

24-1288

SHEET NO.

1 OF 2

EXISTING PARCEL LAYOUT

LEGAL DESCRIPTION

LOT 21-C IN THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION, RECORDED APRIL 26, 2017, IN PLAT FILE 57-A-3, AS INSTRUMENT NUMBER 2017-09397, IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

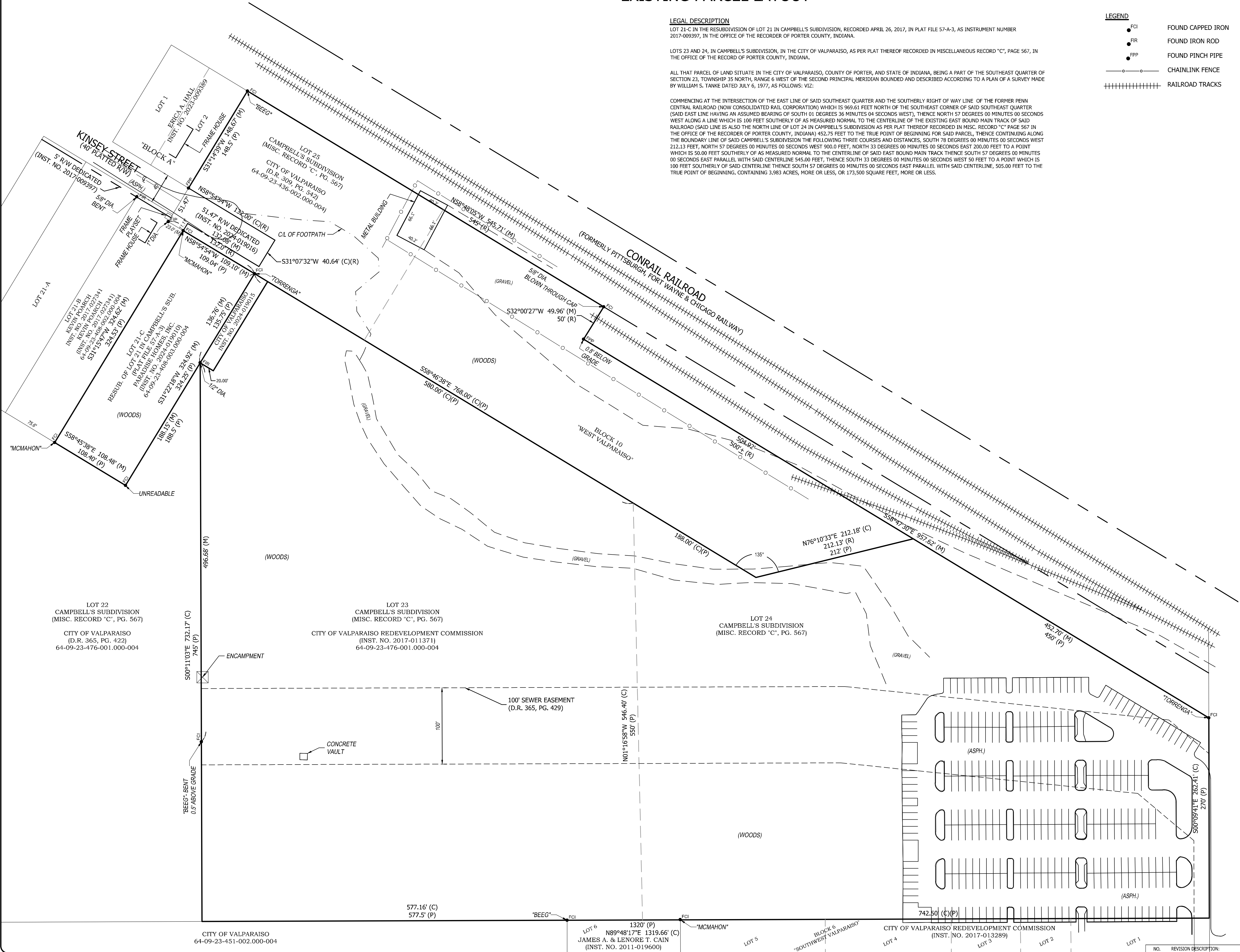
LOTS 23 AND 24, IN CAMPBELL'S SUBDIVISION, IN THE CITY OF VALPARAISO, AS PER PLAT THEREOF RECORDED IN MISCELLANEOUS RECORD "C", PAGE 567, IN THE OFFICE OF THE RECORD OF PORTER COUNTY, INDIANA.

ALL THAT PARCEL OF LAND SITUATE IN THE CITY OF VALPARAISO, COUNTY OF PORTER, AND STATE OF INDIANA, BEING A PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 6 WEST OF THE SECOND PRINCIPAL MERIDIAN BOUNDED AND DESCRIBED ACCORDING TO A PLAN OF A SURVEY MADE BY WILLIAM S. TANKE DATED JULY 6, 1977, AS FOLLOWS: VIZ:

COMMENCING AT THE INTERSECTION OF THE EAST LINE OF SAID SOUTHEAST QUARTER AND THE SOUTHERLY RIGHT OF WAY LINE OF THE FORMER PENN CENTRAL RAILROAD (NOW CONSOLIDATED RAIL CORPORATION) WHICH IS 969.61 FEET NORTH OF THE SOUTHEAST CORNER OF SAID SOUTHEAST QUARTER (SAID EAST LINE HAVING AN ASSUMED BEARING OF SOUTH 01 DEGREES 36 MINUTES 04 SECONDS WEST), THENCE NORTH 57 DEGREES 00 MINUTES 00 SECONDS WEST ALONG A LINE WHICH IS 100 FEET SOUTHERLY OF AS MEASURED NORMAL TO THE CENTERLINE OF THE EXISTING EAST BOUND MAIN TRACK OF SAID RAILROAD (SAID LINE IS ALSO THE NORTH LINE OF LOT 24 IN CAMPBELL'S SUBDIVISION AS PER PLAT THEREOF RECORDED IN MISC. RECORD "C" PAGE 567 IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA) 452.75 FEET TO THE TRUE POINT OF BEGINNING FOR SAID PARCEL, THENCE CONTINUING ALONG THE BOUNDARY LINE OF SAID CAMPBELL'S SUBDIVISION THE FOLLOWING THREE COURSES AND DISTANCES, SOUTH 78 DEGREES 00 MINUTES 00 SECONDS WEST 212.13 FEET, NORTH 57 DEGREES 00 MINUTES 00 SECONDS WEST 900.0 FEET, NORTH 33 DEGREES 00 MINUTES 00 SECONDS EAST 200.00 FEET TO A POINT WHICH IS 50.00 FEET SOUTHERLY OF AS MEASURED NORMAL TO THE CENTERLINE OF SAID EAST BOUND MAIN TRACK THENCE SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH SAID CENTERLINE 545.00 FEET, THENCE SOUTH 33 DEGREES 00 MINUTES 00 SECONDS WEST 50 FEET TO A POINT WHICH IS 100 FEET SOUTHERLY OF SAID CENTERLINE THENCE SOUTH 57 DEGREES 00 MINUTES 00 SECONDS EAST PARALLEL WITH SAID CENTERLINE, 505.00 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 3.983 ACRES, MORE OR LESS, OR 173,500 SQUARE FEET, MORE OR LESS.

LEGEND

- FOI FOUND CAPPED IRON
- FIR FOUND IRON ROD
- FPP FOUND PINCH PIPE
- CHAINLINK FENCE
- RAILROAD TRACKS



EXISTING PARCEL LAYOUT EXHIBIT

A PART OF THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION (PLAT FILE 57-A-3), CAMPBELL'S SUBDIVISION (MISC. RECORD "C", PAGE 567), AND BLOCK 10 OF WEST VALPARAISO IN THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 35 NORTH, RANGE 6 WEST CENTER TOWNSHIP, PORTER COUNTY, INDIANA.

DRAWN BY:	BRG
FIELDBOOK:	JM/EG
PM REVIEW:	MDK
QA/QC REVIEW:	RSP
DATE:	11/4/24
SCALE:	
ACT JOB #	24-1288
SHEET NO.	2 OF 2

ABONMARCHÉ

17 N. Washington Street
Valparaiso, IN 46383
T 219.858.4433
F 219.858.4425
abonmarche.com

Valparaiso
Hobart
South Bend
Elkhart
Fort Wayne
Lafayette

Benton Harbor
Grand Haven
Grand Rapids

Engineering Architecture Land Surveying

COURTESY D&L ARCHITECTURE CONSULTANTS, INC.

SEC. 23-T35N-R6W

SUBJECT PROPERTY INFORMATION													
Property Address:	Description of Property:	Parcel/Tax Duplicate Number(s):	Subdivision (If Applicable)	Dimensions of Property:	Dimensions of Property:	Property Area (sq. ft/acres):	Subject Property fronts on the x side between (streets)	Zoning District (Current):	Zoning District (Proposed):	Zoning of Adjacent Properties:		Present Use of Property:	Proposed Use of Property:
Cambell & Lincolnway, Valparaiso, IN	Campbells Sub Lots 23 & 24	64-09-23-476-001.000-004	N/A	Front: N/A	Depth: N/A	17.83 Acres	No Streets	Central Place	Central Place	North: Central East: Light/Heavy industrial	South: Central West: Light/Heavy Industrial	Vacant	Residential
PETITIONER INFORMATION													
Applicant Name:	Phone:	Email:	Address:										
Paradise Community Homes	219-405-3841		3803 Sandpiper Court, Valparaiso, IN 46385										
PROPERTY OWNER INFORMATION													
Applicant Name:	Phone:	Email:	Address:										
City of Valparaiso Redevelopment Commision	219-462-1161	rob@thorgren.com	Valparaiso City Hall 166 Lincolnway, Valparaiso, IN 46385										
LEGAL DESCRIPTION OF SUBJECT PROPERTY: (EXHIBIT NO.)													
See Attached Deed													
PROPOSED VARIANCES OR WAIVERS: (EXHIBIT NO.)													
N/A													
SUBJECT PROPERTY INFORMATION:													
Property Address:	Description of Property:	Parcel/Tax Duplicate Number(s):	Subdivision (If Applicable)	Dimensions of Property:	Dimensions of Property:	Property Area (sq. ft/acres):	Subject Property fronts on the x side between (streets)	Zoning District (Current):	Zoning District (Proposed):	Zoning of Adjacent Properties:		Present Use of Property:	Proposed Use of Property:
Kinsey St, Valparaiso, IN 46385	Cambell's Sub Lot 25 Blk A ex S51.47 W132 & West Valpo Blk 10 in SE 23-35-6 S of RR & N of Lots 23 & 24 Campbells 3.83 A	64-09-23-436-002.000-004	N/A	Front: N/A	Depth: N/A	3.83 Acres	No Streets	Central Place	Central Place	North: Central East: Central	South: Central West: Central	Vacant	Residential
PETITIONER INFORMATION:													
Applicant Name:	Phone:	Email:	Address:										
Paradise Community Homes	219-405-3841		3803 Sandpiper Court, Valparaiso, IN 46385										
PROPERTY OWNER INFORMATION:													
Applicant Name:	Phone:	Email:	Address:										
City of Valparaiso	219-462-1161	boeding@valpo.us	Valparaiso City Hall 166 Lincolnway, Valparaiso, IN 46385										
LEGAL DESCRIPTION OF SUBJECT PROPERTY: (EXHIBIT NO.)													
See Attached Deed													
PROPOSED VARIANCES OR WAIVERS: (EXHIBIT NO.)													
N/A													
SUBJECT PROPERTY INFORMATION:													
Property Address:	Description of Property:	Parcel/Tax Duplicate Number(s):	Subdivision (If Applicable)	Dimensions of Property:	Dimensions of Property:	Property Area (sq. ft/acres):	Subject Property fronts on the x side between (streets)	Zoning District (Current):	Zoning District (Proposed):	Zoning of Adjacent Properties:		Present Use of Property:	Proposed Use of Property:
765 Kinsey St, Valparaiso, IN 46385	Resub Lot 21 in Cambell's Sub Lot 21-C .81A	64-09-23-408-003.000-004	N/A	Front: 109.04 ft	Depth: 324.25 ft	.81 Acres	South side of Kinsey Str	General Residential	General Residential	North: General East: Central Place	South: Light Industrial West: General	Vacant	Residential
PETITIONER INFORMATION:													
Applicant Name:	Phone:	Email:	Address:										
Paradise Community Homes	219-405-3841		3803 Sandpiper Court, Valparaiso, IN 46385										
PROPERTY OWNER INFORMATION:													
Applicant Name:	Phone:	Email:	Address:										
Home Team Valpo	219-238-6268	info@hometeamvalpo.org	Valparaiso, IN 46383										
LEGAL DESCRIPTION OF SUBJECT PROPERTY: (EXHIBIT NO.)													
See attached Deed													
PROPOSED VARIANCES OR WAIVERS: (EXHIBIT NO.)													
N/A													

CORPORATE WARRANTY DEED

1701948cm

THIS INDENTURE WITNESSETH, that **SMITH READY MIX, INC.**, an Indiana Corporation, of Porter County, in the State of Indiana, CONVEYS AND WARRANTS to **CITY OF VALPARAISO REDEVELOPMENT COMMISSION**, of Porter County, in the State of Indiana, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND ALL OTHER GOOD AND VALUABLE CONSIDERATION, the receipt whereof is hereby acknowledged, the following described Real Estate in Porter County, in the State of Indiana, to-wit:

Lots 23 and 24, in Campbell's Subdivision, in the City of Valparaiso, as per plat thereof recorded in Miscellaneous Record "C", page 567, in the Office of the Recorder of Porter County, Indiana.

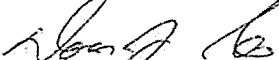
Commonly known as: Campbell & Lincolnway, Valparaiso, IN 46383
Grantee's Address: 166 Lincolnway, Valparaiso, IN 46383
Parcel No: 64-09-23-476-001.000-004

Subject to taxes, easements, restrictions, rights of way, ditches and drains, conditions and covenants of record.

Subject also to all zoning laws and other restrictions, regulations, ordinances or statutes of any governmental authority applicable to the above property.

IN WITNESS WHEREOF, said Grantors have hereunto set their hand and seal, this 11th day of May, 2017.

SMITH READY MIX, INC.

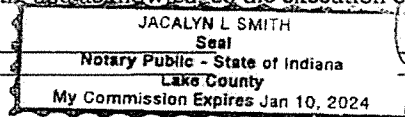

By: Douglas J. Smith, President

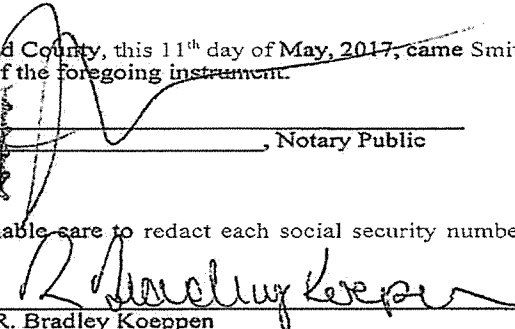
STATE OF INDIANA, PORTER COUNTY, SS:

Before me, the undersigned, a Notary Public in and for said County, this 11th day of May, 2017, came Smith Ready Mix, Inc. by Douglas J. Smith, and acknowledged the execution of the foregoing instrument.

My Commission Expires:

County of Residence:




R. Bradley Koeppen

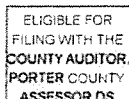
I affirm under the penalties for perjury that I have taken reasonable care to redact each social security number in this document unless required by law.

This instrument prepared by:

R. Bradley Koeppen, Attorney, DOUGLAS, KOEPPEN & HURLEY, P.O. Box 209
Valparaiso, IN 46384-0209, (219) 462-2126

Mail Fax Duplicates to:

City of Valparaiso Redevelopment Commission
166 Lincolnway
Valparaiso, IN 46383



DULY ENTERED FOR TAXATION SUBJECT TO
FINAL ACCEPTANCE FOR TRANSFER
May 15 2017

Vicki Urbanik

AUDITOR PORTER COUNTY

5 MB

1/0



Parcel Number: 640923476001000004
 Site Address: Campbell & Lincolnway
 Valparaiso IN 46383
 Homestead Filed: False
 Legal Description: Campbells Sub Lots 23 & 24
 Alternate Parcel Number:
 64-09-23-476-001.000-004
 Owner1: City of Valparaiso Redevelopment Co
 Owner1 Address: 166 Lincolnway Valparaiso IN
 46383

This map is a user-generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

WARRANTY DEED

File No.: CTNW2404832-MSW
CT Valparaiso LLC

THIS INDENTURE WITNESSETH, that Michael Nordstrom (Grantor) CONVEY(S) AND WARRANT(S) to Home Team Valpo, Inc. (Grantee) for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the following described real estate in Porter County in the State of Indiana, to wit:

For APN/Parcel ID(s): 64-09-23-408-003.000-004

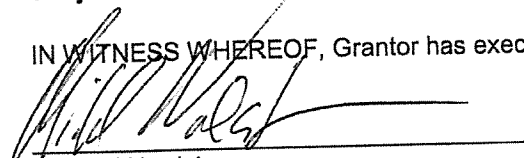
LOT 21-C IN THE RESUBDIVISION OF LOT 21 IN CAMPBELL'S SUBDIVISION, RECORDED APRIL 26, 2017 IN PLAT FILE 57-A-3, AS INSTRUMENT NUMBER 2017-009397, IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

Property: 765 Kinsey St, Valparaiso, IN 46385

Subject to all current real estate taxes and assessments and all subsequent taxes and assessments.

Subject to all easements, covenants, conditions, and restrictions of record.

IN WITNESS WHEREOF, Grantor has executed this deed this 26th day of September, 2024.

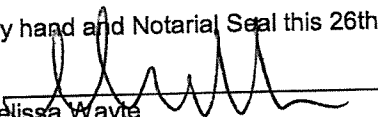

Michael Nordstrom

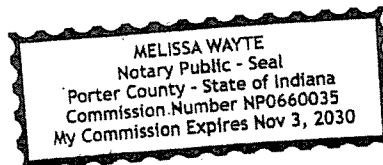
STATE OF INDIANA

COUNTY OF PORTER

Before me, a Notary Public in and for said County and State, personally appeared Michael Nordstrom who acknowledged the execution of the foregoing instrument, and who, having been duly sworn, stated that any representations therein contained are true.

Witness my hand and Notarial Seal this 26th day of September, 2024

Signature: 
Printed: Melissa Wayte
Resident of: Porter County
State of: INDIANA
My Commission expires: November 3, 2030



Prepared By: Dena Phillips Farling, for the benefit of Chicago Title Company, LLC

Grantee's Address and Tax Billing Address: 3803 Sandpiper Ct.
Valparaiso, IN 46385

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law: Dena Phillips Farling.

CTNW2404832

CHICAGO TITLE COMPANY, LLC

2008-027488

STATE OF INDIANA
PORTER COUNTY
FILED FOR RECORD
10/23/2008 01:15PM
LINDA D. TRINKLER
RECORDER

REC FEE: \$22.00
PAGES: 4

01-1034
01-258875
01-193890
01-877
01-258876

WARRANTY DEED

THIS INDENTURE WITNESSETH, that **JET Development, LLC**, an limited liability company organized and existing under the laws of the State of Indiana ("Grantor") CONVEYS AND WARRANTS to the **City of Valparaiso Redevelopment Commission** ("Grantee") for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate in Porter County, in the State of Indiana ("Property"):

DESCRIPTION: PARKING LOT^{1?}

See about drawing this out insofar as what it actually describes.

A PART OF LOTS 3, 4 AND 5 IN BLOCK 8 AND A PARCEL OF LAND IN BLOCK 9, ALL LOCATED IN WEST VALPARAISO, IN THE CITY OF VALPARAISO, WHICH IS RECORDED IN MISCELLANEOUS RECORD "A," PAGE 32, IN THE OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE EAST LINE OF SAID BLOCK 8, 21.25 FEET NORTH OF THE SOUTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 00°22'00" EAST, ALONG SAID EAST LINE OF BLOCK 8, A DISTANCE OF 64.87 FEET TO THE "POINT OF BEGINNING" OF SAID PARCEL OF LAND HEREIN DESCRIBED; THENCE SOUTH 00°22'00" EAST, ALONG THE EAST LINE OF BLOCK 8, A DISTANCE OF 61.00 FEET; THENCE SOUTH 89°38'00" WEST, A DISTANCE OF 67.19 FEET; THENCE SOUTH 00°22'00" EAST, A DISTANCE OF 77.90 FEET; THENCE SOUTH 30°50'46" WEST, A DISTANCE OF 22.70 FEET TO A LINE WHICH IS 25 FEET NORTHEASTERLY OF AND PARALLEL WITH THE CENTERLINE OF THE EXISTING MAIN TRACK OF THE NORFOLK AND WESTERN RAILROAD (FORMERLY THE PITTSBURGH, FORT WAYNE AND CHICAGO RAILWAY); THENCE NORTH 59°09'14" WEST, ALONG SAID PARALLEL LINE, A DISTANCE OF 388.16 FEET; THENCE NORTH 30°50'46" EAST, A DISTANCE OF 21.00 FEET; THENCE ALONG A CURVE, CONCAVE WESTERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 90°00'00", RADIUS OF 5.00 FEET, ARC LENGTH OF 7.85 FEET AND A CHORD THAT

01-72

This is the number of our associated parcel, so I would assume this deal gives title to the parcel in question, so maybe they are both owned by Maden Comm.

③

* 64-09-23-436-002-000-004
64-09-23-436-003-000-004
64-09-23-436-004-000-004
64-09-23-437-001-000-004
64-09-23-437-002-000-004
520081496 RAS

Page 1 of 4

CHICAGO TITLE INSURANCE COMPANY

DULY ENTERED FOR TAXATION SUBJECT TO FINAL ACCEPTANCE FOR TRANSFER
OCT 23 2008
<i>[Signature]</i> AUDITOR OF PORTER COUNTY

7/1/08

BEARS NORTH 14°09'14" WEST, 7.07 FEET; THENCE NORTH 59°09'14" WEST, A DISTANCE OF 20.00 FEET; THENCE NORTH 30°50'46" EAST, A DISTANCE OF 51.75 FEET; THENCE NORTH 00°22'00" WEST, A DISTANCE OF 31.33 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 130 (ALSO KNOWN AS LINCOLNWAY); THENCE NORTH 89°38'00" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 5.00 FEET; THENCE SOUTH 00°22'00" EAST, A DISTANCE OF 22.73 FEET; THENCE NORTH 89°38'00" EAST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 00°22'00" EAST, A DISTANCE OF 10.00 FEET; THENCE SOUTH 89°38'00" WEST, A DISTANCE OF 5.00 FEET; THENCE SOUTH 30°50'46" WEST, A DISTANCE OF 4.64 FEET; THENCE SOUTH 59°09'14" EAST, A DISTANCE OF 14.50 FEET; THENCE ALONG A CURVE, CONCAVE NORTHERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 90°00'00", RADIUS OF 5.00 FEET, ARC LENGTH OF 7.85 FEET AND A CHORD THAT BEARS NORTH 75°50'46" EAST, 7.07 FEET; THENCE SOUTH 59°09'14" EAST, A DISTANCE OF 21.00 FEET; THENCE SOUTH 30°50'46" WEST, A DISTANCE OF 23.00 FEET; THENCE ALONG A CURVE, CONCAVE EASTERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 90°00'00", RADIUS OF 10.00 FEET, ARC LENGTH OF 15.71 FEET AND A CHORD THAT BEARS SOUTH 14°09'14" EAST, 14.14 FEET; THENCE SOUTH 59°09'14" EAST, A DISTANCE OF 12.88 FEET; THENCE ALONG A CURVE, CONCAVE NORTHWESTERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 125°02'35", RADIUS OF 5.00 FEET, ARC LENGTH OF 10.91 FEET AND A CHORD THAT BEARS NORTH 58°19'28" EAST, 8.87 FEET; THENCE ALONG A CURVE, CONCAVE EASTERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 3°38'04", RADIUS OF 72.50 FEET, ARC LENGTH OF 4.60 FEET AND A CHORD THAT BEARS NORTH 02°22'47" WEST, 4.60 FEET; THENCE NORTH 00°33'45" WEST, A DISTANCE OF 46.89 FEET; THENCE ALONG A CURVE, CONCAVE SOUTHWESTERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 69°35'55", RADIUS OF 40.00 FEET, ARC LENGTH OF 48.59 FEET AND A CHORD THAT BEARS NORTH 35°21'42" WEST, 45.66 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 130; THENCE NORTH 89°38'00" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 67.48 FEET; THENCE ALONG A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 69°56'10", RADIUS OF 25.00 FEET, ARC

LENGTH OF 30.52 FEET AND A CHORD THAT BEARS SOUTH 34°24'20" WEST, 28.66 FEET; THENCE SOUTH 00°33'45" EAST, A DISTANCE OF 60.67 FEET; THENCE ALONG A CURVE, CONCAVE EASTERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 32°37'20", RADIUS OF 47.50 FEET, ARC LENGTH OF 27.04 FEET AND A CHORD THAT BEARS SOUTH 16°52'25" EAST, 26.68 FEET; THENCE ALONG A CURVE, CONCAVE NORTHERLY, WHOSE ELEMENTS ARE: CENTRAL ANGLE OF 147°10'55", RADIUS OF 5.09 FEET, ARC LENGTH OF 13.08 FEET AND A CHORD THAT BEARS NORTH 73°13'28" EAST, 9.76 FEET; THENCE NORTH 00°22'00" WEST, A DISTANCE OF 19.41 FEET; THENCE NORTH 89°38'00" EAST, A DISTANCE OF 123.68 FEET; THENCE NORTH 00°22'00" WEST, A DISTANCE OF 5.00 FEET; THENCE NORTH 89°38'00" EAST, A DISTANCE OF 10.00 FEET; THENCE SOUTH 00°22'00" EAST, A DISTANCE OF 5.00 FEET; THENCE NORTH 89°38'00" EAST, A DISTANCE OF 91.56 FEET; THENCE SOUTH 45°22'00" EAST, A DISTANCE OF 11.21 FEET; THENCE SOUTH 00°22'00" EAST, A DISTANCE OF 58.08 FEET; THENCE NORTH 89°37'38" EAST, A DISTANCE OF 67.19 FEET TO THE "POINT OF BEGINNING." CONTAINING 1.198 ACRES, MORE OR LESS.

Subject to:

- (1) Indiana real estate taxes.
- (2) Covenants, conditions, restrictions and easements of record.
- (3) All facts which would be revealed by an accurate survey.
- (4) Highways and rights of way, ditches and drains, if any, and all rights therein.
- (5) Terms and conditions of a certain Memorandum of Understanding dated September 17, 2008 by and between the Grantor and the Grantee affecting the Property and certain other property as more particularly identified in said Memorandum.

IN WITNESS WHEREOF, Grantor has caused this Warranty Deed to be executed this 14th day of OCTOBER, 2008.

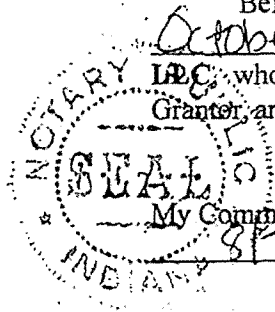
JET Development, LLC

By:

V. Jacob Wagner
V. Jacob Wagner, Manager

STATE OF INDIANA)
) SS:
COUNTY OF PORTER)

Before me, a Notary Public, in and for said County and State, this 14 day of October, 2008 personally appeared **V. Jacob Wagner, Manager of JET Development, LLC**, who acknowledged the execution of the foregoing Warranty Deed for and on behalf of said Grantor, and who, having been duly sworn, stated that the representations therein contained are true.



My Commission Expires: 8/11/10

Lisha Vera
Notary Public Lisha Vera
County of Residence: Porter

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.

William A. Ferngren
William A. Ferngren

Mail Tax Statements To:
City of Valparaiso
166 West Lincolnway
Valparaiso, Indiana 46383

This Instrument Prepared By:
William A. Ferngren, Esq.
Ferngren Law Offices, LLC
570 Vale Park Road, Unit B
Valparaiso, Indiana 46385
(219) 464-4500

P:\BillFiles\Wagner, V\Jet Development, LLC\deed_jet to city_2008-09-17.wpd



Parcel Number: 640923436002000004
 Site Address: Kinsey St Valparaiso IN 46383
 Homestead Filed: False
 Legal Description: Campbell's Sub Lot 25 Blk A
 ex S51.47 W132 & West Valpo Blk 10 in SE
 23-35-6 S of RR & N of Lots 23 & 24 Campbells
 3.83A
 Alternate Parcel Number:
 64-09-23-436-002.000-004
 Owner1: Valparaiso City Of
 Owner1 Address: 166 Lincolnway Valparaiso IN
 46383

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

NOTICE TO SURROUNDING PROPERTY OWNERS

Dear Property Owner:

You are receiving this notice because you are a property owner within 300 feet of parcel(s) under consideration at an upcoming City of Valparaiso Plan commission meeting.

I, **Abonmarche Consultants, Inc.**, agent for the owner of the property at Campbell & Lincolnway Valparaiso, IN 46383, Kinsey St., Valparaiso, IN 46385 and 765 Kinsey St., Valparaiso, IN 46385 filed a petition **RP24-002** with the Valparaiso Plan commission for: Paradise Home Builders.

The legal description of these parcels are:

CAMPBELLS SUBLOTS 23 & 24; CAMPBELL'S SUB LOT 25 BLK A EXS51.47 W132 & WEST VALPO BLK 10 IN SE 23-35-6 S OF RR & N OF LOTS 23 & 24 CAMPBELLS 3.83A; AND RESUB LOT 21 IN CAMPBELLS SUB LOT 21-C .81A

Plainly speaking, I am asking the Valparaiso Plan Commission to: replat four separate parcels into 6 lots; 5 residual lots and 1 outlot.

A site plan illustrating the petition is included with this letter.

The Plan Commission will conduct a public hearing on this matter, Petition Number **RP24-002** on November 5, 2024, at 5:30 pm at Valparaiso City Hall, 166 Lincolnway in Council Chambers and via web conference (bit.ly/ValpoPC2024).

You may submit your view on this matter in writing to the Planning Director before the hearing date. Alternatively, you can be heard at the above-mentioned time of the public hearing in-person or via web conference. All interested parties are invited to attend or view the meeting live on the City of Valparaiso website.

If you have questions about this petition or would like more information, please contact the City of Valparaiso Planning Department.

Beth Shrader, Planning Director
Valparaiso City Hall, 166 Lincolnway, Valparaiso, IN 46383

Phone: (219) 462-1161

E-mail: planningdepartment@valpo.us (all e-mails must include name, address, and telephone number)

Respectfully,



Abonmarche Consultants, Inc., Agent – Matt Keiser

Affidavit of Proper Public Notice for Public Hearing

(To be presented to Plan Commission staff or attorney at Public Hearing)

Matt Keiser, being dully sworn upon his/her oath, being of sound mind and legal age deposes and states:

1. That he/she is the Agent (agent, attorney, owner) of the property described in the attached notice which an application for a variance has been filed before the Board of Zoning Appeals of the City of Valparaiso, Indiana

2. That on the 23rd day of October, 2024, did mail at least ten (10) days prior to the scheduled Public Hearing, postage paid, by certified mail, returned receipt requested, a letter explaining the proposed change, time, date and place of hearing and attached hereto, to all of the property owners within three hundred (300) feet from the lot lines of described real estate, as follows.

(Please attach legal description)

List the name the address of all property owners who have received notification below:

(Please print)

Please Attach a copy of the Surrounding Property Owners List.



Petitioner

10/23/24

Date

Subscribed and sworn to before me this 23rd day of October, 2024.



Notary Public

My Commission Expires:

February 11, 2032

Date

