

166 Lincolnway Valparaiso, IN 46383 (219) 462-1161 Valpo.us

#### **MEETING AGENDA**

Valparaiso Plan Commission Tuesday, October 1, 2024, 5:30 PM Valparaiso City Hall – Council Chambers

- 1. Pledge of Allegiance
- 2. Roll Call
- 3. Adoption of Meeting Minutes September 3, 2024
- 4. Old Business

**PUDA23-001**, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks a second amendment to the Alternate Plan for Vista Trails and to amend certain corner lot setbacks within The Brooks at Vale Park. *Public hearing for this matter was held on September 3*, 2024.

**PP24-003** and **SSP23-002**, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks primary and secondary development plan approval of Vista Trails within The Brooks at Vale Park. *Public hearing for this matter was held on September 3, 2024*.

#### New Business

**RP24-001,** a petition filed by Tom and Nicole Krueger on behalf of The Brooks Land LLC c/o William Ferngren, 570 Vale Park Road, Suite B, Valparaiso, IN 46384. The petitioner seeks to combine Lot E60 and Lot E96 in the Brooks at Vale Park Phase 2, as per plat thereof, recorded in the office of the recorder of Porter County, Indiana. *No public hearing is required.* 

- 6. Staff Items
- 7. Adjournment

Matt Evans, President Beth Shrader, Planning Director

Next Meeting: Tuesday, November 5, 2024

Interested persons can view public meetings live on the City of Valparaiso website, <a href="www.valpo.us">www.valpo.us</a> or participate in the webinar by visiting <a href="bit!ly/ValpoPC2024">bit.ly/ValpoPC2024</a>. Requests for alternate formats please contact Planning Department at <a href="planningdepartment@valpo.us">planningdepartment@valpo.us</a> or (219) 462-1161.

#### MINUTES OF THE MEETING OF THE PLAN COMMISSION VALPARAISO, INDIANA September 3, 2024

The Plan Commission of the City of Valparaiso, Indiana, met on Tuesday, September 3, 2024 at 5:30 p.m. in City Hall. Matt Evans called the meeting to order. The Pledge of Allegiance was said. Present were Diane Worstell, Sarah Litke, Vic Ritter, Tim Warner, Clay Patton, Ellen Kapitan, Max Rehlander, and Matt Evans. Harris Peterson was absent.

#### **MINUTES**

July 2, 2024 minutes were presented for approval.

**Motion**: Sarah Litke moved to approve the July 2, 2024 minutes as presented. Diane Worstell seconded the motion. Upon voice vote, the motion passed with an 8-0 vote.

#### **Roll Call Vote:**

Diane Worstell – Yes Harris Peterson – Absent Sarah Litke – Yes Vic Ritter – Yes Tim Warner - Yes Matt Evans – Yes Clay Patton – Yes Ellen Kapitan – Yes Max Rehlander – Yes

Old Business - None

#### **New Business**

These three cases overlap. They will be read separately but will be presented together.

**PUDA23-001**, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks a second amendment to the Alternate Plan for Vista Trails and to amend certain corner lot setbacks within The Brooks at Vale Park. A **public hearing** will be held.

**PP24-003** and **SSP23-002**, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks primary and secondary development plan approval of Vista Trails within The Brooks at Vale Park. A **public hearing** will be held.

Attorney Todd Leeth presented. He is joined by Adam McAlpine of McAlpine Consulting. There is the Visa Trails project within The Brooks. That has the primary and secondary development plans. He also wants to talk about the alternate plan for Vista Trails. And then four separate lots that are in the traditional home portion of the development.

Vista Trails is a town home/duplex development on the north side of Vale Park. There are four lots as well. They are all located within The Brooks PUD. That is the zoning. It was adopted by the City Council with the Plan Commission's recommendation.

Vista Trails is a 3.454 acre parcel located at the eastern edge of The Brooks on the north side of Vale Park Road. Originally it was a multi-family PUD. It was intended to have triplex buildings in the area and is smaller in orientation. In November of 2022 he amended the PUD to enlarge the area to its current orientation. Now it is 3.454 acres. He had a concept plan at that time showing 18 duplex homes. He showed a rendering of the concept plan. You can see Vale Park on the South end and a private drive coming in to service each of the homes. Each of the homes was a duplex. The purpose was to make each of them a single-family home owning the underlying land. That was done for financing purpose. This is zero lot lines between those lots and that was the plan that was part of the alternative plan that was approved by the Commission in 2022. Today he is coming in to amend the conceptual site plan once again and to modify corner lot setbacks for those specifically in the traditional home subdistrict of the single-family homes within the PUD. He showed the new concept plan for Vista Trails 3.4 acre parcel. This looks very similar to what they had in 2022. The difference is Mr. McAlpine has engineered this concept plan and it is dimensioned and there is a private road that runs through and connects to Vale Park. The earlier plan had a loop and did not connect to Vale Park. This gives better emergency access.

The second part of the Vista Trail amendment has to do with corner lots. Corner Lots are lots that have two front yards. In the City's Ordinance they are referred to as street yards which is essentially the same setback for front yards. That gives the ability for the builder and homeowner to orient the home to face two different streets. When The Brooks was laid out in that single family area the corner lots were not oversized as they usually are. These corner lots our builder tells us have been problematic. They came to the Plan Department and asked for seven lots to have the side yard setback reduced to 7'. They have settled on four lots and 20'. This is a 10' reduction on these four individual lots. In the amendment it is Lot 5, 30, 7 and 57. If they face the roads listed in the amendment, the side yard could be 20'. Those are the requests for the amendment to the PUD. Four corner lots and changing the concept plan for Vista Trails.

The next part of the request has to do with the primary development plan and the secondary development plan for Vista Trails. Just those 18 homes. He has submitted a very detailed engineering plan that is the primary development plan. This has gone through all of the site reviews and staff reviews from the Engineering Department, traffic concerns, and storm water. A Development Plan is like a subdivision primary plat. It is called a development plan because it is part of a PUD and has all of the details required by that. It is governed by the subdivision and the zoning ordinance or the PUD. They also have a set of restrictive covenants that will apply only to this part. This is a simulated condominium. It is maintenance free living. They did everything they could to make it feel like a condominium in those covenants. There are the same use restrictions. The same protections on property values. But the homeowners are operating under a Homeowners Association, very much like a condominium would.

The next part of the Development Plan process is Secondary Development Plan. This is a Plan with much less detail. It is more like a survey. This is what gets recorded. Until this is approved, signed and recorded Lots 1, 9 and 18 do not exist. Once this is recorded they can sell those lots and they can build on the lots and there is a community. The secondary Development Plan is identical to the Primary Development Plan. The Primary is engineered. The Secondary is surveyed.

#### **Public Hearing**

Steve Emmert –2705 Old Oak Drive in The Brooks. Visually the four lots – what do the setbacks look like. Are they going closer to the street?

Seeing no one else wishing to address the Board, Matt Evans declared the Public Hearing closed.

Beth Shrader – She received an email from Andrew and Cheryl Crosmer:

Attention: Beth Shrader Planning Director

From: Andrew and Cheryl Crosmer

1153 Vale Park Rd.

Telephone 219-680-9836

We are unable to make the public hearing on September 3 at 5:30 PM at Valparaiso City Hall. We are concerned about the alternate plan regarding the reconfiguring of the lot lines in the secondary development plan for Vista trails.

Based upon exhibit A that we were provided with to our notice, it appears that lots 17 and 18 will be located off of Goodrich Road. It was represented to us over and over again that Goodrich Road would not become a thoroughfare between Vail Park Road and ransom Road. It appears that based on the alternate plan that Goodrich Road will go through to Vale Park Road. We believe it will not be long before the property immediately to the east of Goodrich Road will also be using the new Goodrich Road edition to facilitate additional building lots which would be located immediately across from our home.

We do not understand why units on the Brooks plan need to have driveways or accessibility to Goodrich Road. Allowing one driveway seems to open the door for several others in the future. We are not in favor and strongly discourage the alternate plan that would allow homes or driveways to be located off Goodrich Road between Vale Park and Ransom Road.

Thank you for your attention.

Very truly yours,

Andy and Cheryl Crosmer

#### **Rebuttal from Petitioner**

Todd Leeth – They would come off Winding Brook. That is the short side. If they face Old Oak Drive the side yard could be as little as 20'.

#### Staff Comments

Beth Shrader – What was intended to be conveyed in the Plan is there is only a setback reduction along the frontage that is adjacent to the commonly owned drainageway. If Lot 57 faces Winding Brook Road, the setback reduction would be on Old Oak. Typically, the lot will be deeper than it is wide. It is addressed off Winding Brook that is where the front yard is. Old Oak is where the set back is. Along the west side is a 20' side yard instead of 30'. It has been typical in our City for secondary plats that there will be two addresses listed on corner lots. The house can decide which way to face. Not all communities do it this way. Some decide which front yard makes the most sense and addresses it accordingly. That is what they are doing for these four lots. They are choosing the direction that makes the most sense, having it in the amendment. They pick the front yard and then the street side yard is the one that gets the reduction. That was the intent of what was conveyed in the changes. In this section of the Brooks all front yards are 30'. In this case it is 20' in the street side yard and 30' in the front yard. It is a reduction of 10'.

Clay Patton – If the house is facing theirs the front yard is 30' and the side yard on Winding Brook is 20'. If the house is facing Winding Brook ...

Beth Shrader - That is not what was intended. We are picking the front yard with this amendment. There is no more option to face either street. The front yard will be on Winding Brook and the street side yard will be on Old Oak. You can't have a lot that shallow. What they are losing in flexibility in choosing which way the house faces on the lot, they are gaining 10' of buildable area.

Clay Patton – Is that the Petitioner's request to make these choices for the future owners of the lots?

Todd Leeth – He believes that is exactly the case because the orientation and size of the lots do not fit the corners.

Clay Patton – The Emmerts should know any house across the street from them will be facing Winding Brook and the side yard is going to be 20'. Is that correct?

Mike Grannis with Havyen Home – For 80% of the homes in this area they don't fit on these four lots the way it is set up right now. The long side is where the 20' will be. He likes calling out where the front yard will be. It makes sense.

Todd Leeth – The language he uses in the Amendment does not use the word choosing a front yard. But he likes that. His recommendation with the Commission's approval, is to allow him to tweak the language that they are choosing the front yard, specify what it is for each of those four lots subject to approval of staff and their attorney.

Matt Evans – Does Beth Shrader or Todd Leeth want to comment further on Lot 5?

A Representative of Crusader Homes - His recommendation is Lot 5 should have the same front yard as Lot 4.

Beth Shrader – To be clear, Lot 5 is to face Whispering Brook Lane which is the road to the north so it will retain the same front yard setback as Lot 4. That is part of what was discussed with the developer. The whole point of setbacks being consistent is so homes do not get hidden behind others. If they want to pull back from the setback they can, but your neighbor cannot decide to hide your home. The only reason Staff found this acceptable to come before the Plan Commission is it was reduced to just these four lots that are adjacent to a wooded drainage yard that will be open space that provides a buffer between the 30' setback and 20' setback.

Tim Werner – Lot 57 is across from Lot 37 are directly across the street from each other. He is confused why 57 says Winding Brook Drive and 37 says Winding Brook Lane. When those two streets merge what is it?

Beth Shrader – The two that are adjacent to each other on the northern half of this, they are addressed off the same road. On the south side they are separated by a lot and there are two different roads.

Todd Leeth – He believes that chart is correct.

Beth Shrader – She believes so too.

Tim Werner – Is there a house on Lot 55?

Beth Shrader – That is a different road all together. If it is not included in this Amendment, then it will be a 30' setback from both street setbacks.

Todd Leeth – The front yard face needs to be clarified in the Amendment to say this is the front yard face and then we reduce the other side yard. Then we list that in the table for clarity. It is his recommendation to allow him to clarify the table in the amendment with the approval of staff and their attorney.

As to Goodrich, it was originally intended to go south off Ransom and connect to Vale Park. Then it wasn't. Then in the future. So they dedicated in The Brooks a right of way for that and that right of way actually came through the original part of Vista Trails. They re-located that when they did the amendment to the plan in 2022 to show Goodrich going north and south. There are no driveways off Goodrich in the Plan. There is a private road that all of the 18 lots will empty out to and then come down to Vale Park. But there are no individual driveways except for 17 and 18.

Beth Shrader – Goodrich is identified in the Comprehensive Master Plan's Throughfare Plan as a future connection. It is something the City is pursuing. It will be a collector in status. Vale Park Road is an arterial which has expected higher traffic than a collector. There are more restrictions on access to arterials than there are collectors. A collector may have driveways on to it. There are restrictions as to the spacing between driveways and other road standards but it is permissible to have driveways off a collector road.

Max Rehlander – North of Ransom on Goodrich there are houses on the east side of the road that face Goodrich.

Beth Shrader – There are three petitions here. There is the Amendment to Vista Trails. In the PUD Ordinance it allows the submission of Primary and Secondary plans at the same time. That is what the Petitioner is pursuing. They have been working for many months on this. It was submitted in November of 2023. There have been improvements to it. The documents have come a long way. It has been deemed by staff that it is ready to be considered by the Plan Commission. The process is to have a Public Hearing at one meeting. Then take the next 30 days to consider what they have heard. Then at the October Plan Commission meeting they will be eligible to make a decision.

#### Questions/Comments from the Board

Ellen Kapitan – On the corner lots, what pre-empted the change?

Todd Leeth – Trying to build a home that the homeowners are requesting on a lot that is pinched because instead of a 10' side yard it has a 30' side yard. It makes the lot a lot smaller.

Ellen Kapitan – She has trouble with The Brooks. It is supposed to be for nature, wetlands and forests. As we start taking away from this, she feels the intention of this PUD is being lost.

Todd Leeth - Not a single portion of the common area or wetland area is being reduced. We are just allowing for 10' more of buildable area. This is a very well planned conservation area. His client is a developer and within that they are trying to meet market demands. Homeowners want conservation. They want tree lots, seclusion and privacy. That is a market driven issue. The request tonight is market driven also.

Matt Evans – Does it change lot coverage at all?

Todd Leeth – They did not ask for any change in lot coverage standard. There will be more coverage but they are not going over the standard.

Mike Grannis with Havyen Home – The only homes that will fit on these four lots are the ones that are being built in The Bluffs. These four lots will have to have a smaller footprint to get them to fit. Now it will be a lower price point. Which will be the same price point as The Bluffs.

Some of the home owners in Silver Oak will not be happy with the lower price homes going on those four lots just to make them fit.

Diane Worstell - When we make a motion can we make it with all the items in one motion or do we have to separate them?

Beth Shrader – She recommends separating them. Just to be clear, the recommended motion will be to carry over to the next meeting.

Ellen Kapitan – Her question is the cul-de-sac and the one way. Where did this adjustment come from? Is that a market driven decision?

Todd Leeth – They requested the cul-de-sac or the loop at the end of the private drive. There were some geometry issues with the turning radius of service trucks. There were issues with public safety with regard to the Fire Department. The through street as now shown was vetted with the City Engineering Department to provide those issues with an alternative they deemed safe.

Max Rehlander – We worked with multiple departments. We determined this to be more beneficial to all parties to have a through street rather than a cul-de-sac.

Ellen Kapitan – There are cul-de-sacs throughout the City. What happens to all of them?

Max Rehlander – There are multiple one-ways throughout the City as well. It was a matter of geometry to get a cul-de-sac to fit in this situation just did not work out.

Beth Shrader – The City standards would have a cul-de-sac have a radius of 60'. In this area they decided what was better access for the Fire and other services was a through street.

Matt Evans – In the past they have talked about the difficulty of snowplowing and parking in cul-de-sacs.

Ellen Kapitan – Who is the clientele for the town homes?

Todd Leeth – They had always thought these types of homes would be senior/empty nesters. But they are finding it is the other side of the life cycle as well. It is new families with no kids. The market has learned the demographics are that young families are delaying or deferring having kids.

Ellen Kapitan – Will there be street parking on the one way?

Todd Leeth – Street parking will be provided throughout the development.

Beth Shrader – We do not have a specific number of spots that meet the standards for distance from driveways. There are some number of spots on the south side of the road. The north side would have to be signed No Parking.

Ellen Kapitan – From having lived on a One-Way street it has its own troubles too. A cul-de-sac seemed like a nice addition where you have multiple types of homes. She is curious when Mr. and Mrs. Crosmer were told Goodrich would not connect.

Beth Shrader – Depending on leadership there has been more or less interest in pursuing the Goodrich extension. She knows Max and she have never represented that it would never happen.

Sarah Litke – A previous amendment already showed those driveways there in 2022? So the Plan Commission would have to tell them there are no driveways on Goodrich.

Clay Patton – He has some questions about when it does become a through street. He feels it will become a very congested interchange with Vale Park, Goodrich and Whispering Brook Lane. He travels this area daily. You have to get quite a bit ahead of the island to be able to see cars traveling eastbound. If you have the added traffic of cars turning to and from Goodrich Road, it seems it will become very busy. He has concerns about traffic in this area.

Ellen Kapitan – She seconds the concern. In Traffic and Safety, Ransom and Vale Park are number one concerns with the through traffic. While Goodrich may alleviate some of that, they know people are using those two roads.

Clay Patton – He would invite any staff or Commission members to drive this neighborhood and then drive west bound on Vale Park and turn south on Whispering Brook. He does not know how this could be redesigned. Maybe have Goodrich come south from Ransom and eventually become a four way stop. That would be a lot safer for a traffic pattern through the neighborhood. Vista is a One Way. If he lived on Lots 9, 10 or 11, there is no way he would go up Goodrich and turn left on Vista Trails and go home. He will violate the Do Not Enter sign and go in. Does that mean the City will not plow that?

Todd Leeth – That is what that means.

Clay Patton – Where do garbage trucks go? Do they not go on there?

Beth Shrader – Garbage trucks may. That will be up to VCS to determine if they want to serve or if it will be by private hauler. That was one of the considerations they had with this layout. The way the VCS waste trucks work a westbound one-way was preferable.

Clay Patton – Is Goodrich Road going to be private?

Beth Shrader - No.

Clay Patton – Lots 17 and 18 get City trash, but Lots 1-16 might not? How does the City truck collect the trash from 17 and 18 without turning onto this private road or using some sort of turn around?

Beth Shrader – The private road would allow City vehicles to travel on it. It is wide enough.

Clay Paton – So they will be traveling on it but might decide to not pick up the trash they are driving past.

Beth Shrader – That is up to them to decide whether they are going to take in all the waste management for this section. This was designed with them in mind so they could service all of the lots.

Clay Patton - If cars are parked on the south side of Vista Trails that could impede the trucks grabbing the totes.

Beth Shrader – The totes have to be taken to the North side.

Matt Evans – Lots 13 and 14 have to take their trash to the north side of the road where 4 and 3 are located?

Beth Shrader – Yes, on trash day.

Clay Patton – 11,12, 13 14, 15 and 16 have to go to the opposite side of the street.

Matt Evans – Possibly 17 and 18 also.

Beth Shrader - Yes.

Tim Warner – Was there street parking in the original?

Beth Shrader – In the original PUD or in what was approved in December of 2022? In December of 2022 there were small clusters of off-street parking that were on individual lots. We found them to be undersized. There were issues with having public parking on individual lots that were owned by folks. There will not be any striping for parking. The engineer laid out nine spots that can be spots on the south side only. One other change of note with this amendment is the requirement to have at least 20' drives. In the 2019 PUD Ordinance it was shortened from the City standard of 20'. The reason for 20' is so people can park in the driveway without hanging out over the sidewalk or into the street. This ensures four parking spots at each house – two in the garage and two in the driveway.

Clay Patton – Is there a reason the Open Space Easement is in that section? Is there an issue with a portion being a wetland?

Todd Leeth – He is not sure. His suspicion is that they could not get to it with a cul-de-sac and did not want to put driveways on Vale Park. It just seemed to be the best place for an open space.

Clay Patton – He recognizes this might reduce the number of buildable units there, but if there was some way Goodrich could be curved into that area to be immediately across from Whispering Brook Lane, it would be much better with traffic.

Adam McAlpine, engineer for Vista Trails – He talked about the Open Space. There are six homes that will have extended back yards. This adds value to these homes. It will be landscaped. There will be buffering along the north side of Vale Park Road. There are zero environmentally sensitive issues with this Open Space easement.

Max Rehlander – The corner lots are smaller homes. Was it the standard size for a house in this location versus what is the corner lot size.

Mike Grannis with Havyen Home – The maximum is 50' wide. Most of the plans he has with a three-car garage are hovering around 60'-65'. If he takes off one car bay he only takes off 10'. He tried to put a house the same size as the Emmert's on one of the lots and it would not fit. He needed a 10' reduction to make the house fit. Eight of his 10 plans do not fit on the corner lots.

Max Rehlander – There are other corner lots in this development. Are you going to come back to us at some time?

Todd Leeth – If we did, we would have to do it on a lot-by-lot basis with very good reasons to counteract concerns staff raised.

Matt Evans – He has seen this in front of the Commission before. There has been a big improvement over the last plan. He likes the longer driveways. He thinks some on street parking is important. He likes that it is a through street. He thought the cul-de-sac was problematic. Chicago and Jefferson are similar. Those two streets have parking on both sides of the street. This plan accommodates a lot of changes that were needed. It is a dense development, but it seems to be marketable in the drawing that is presented. Overall, it meets the intended City standard from his perspective.

Todd Leeth – This PUD has a cap on the number of homes. They are under that number. They will still see some more reduction. This PUD provides 33% as Open Space.

Matt Evans – He thinks the Open Space has a drainage way coming off it. That is important for storm water which is a good thing.

Diane Worstell – This has come a long way. There have been some thoughtful changes that have been made.

**MOTION**: Diane Worstell moved to continue PUDA23-001 to next month's meeting on October 1<sup>st</sup>. Sarah Litke seconded the motion. Upon roll call vote the motion passed with a 7-1 vote. Ellen Kapitan voted No.

#### Roll Call Vote:

Diane Worstell – YesMatt Evans – YesSarah Litke – YesClay Patton – YesVic Ritter – YesEllen Kapitan – NoTim Warner – YesMax Rehlander – Yes

**MOTION**: Vic Ritter moved to continue PP24-003 and SSP23-002, to next month's meeting on October 1<sup>st</sup>. Diane Worstell seconded the motion. Upon roll call vote the motion passed with a 6-2 vote. Ellen Kapitan and Clay Patton voted No.

#### Roll Call Vote:

Diane Worstell – Yes

Sarah Litke – Yes

Clay Patton – No

Vic Ritter – Yes

Ellen Kapitan – No

Tim Warner – Yes

Max Rehlander – Yes

#### ADJOURNMENT:

**Motion**: Vic Ritter moved to adjourn the meeting. Ellen Kapitan seconded the motion. Upon voice vote the motion passed with an 8-0 vote.

	Matt Evans, President	
Beth Shrader, Executive Secretary		

Next Meeting: Tuesday, October 1, 2024

# THE BROOKS AT VALE PARK DEVELOPMENT PLAN



#### **Amendment**

To

Corner Lot Setbacks in the
Single-Family Residential District Traditional Subdistrict
And to Adopt an
Alternate Plan to Amend
Conceptual Site Plan
For

#### Vista Trails Duplexes

(Formerly Trailside Duplexes)

This is an amendment to Ordinance No. 11, 2019 (hereinafter referred to "The Brooks PUD Ordinance") and Schedule 1 thereto, the Planned United Development known as The Brooks at Vale Park within the City of Valparaiso, Indiana amending portions of Conceptual Site Plan therein specifically to allow for the consistent treatment of corner lot setbacks with other lot standards within the Single-Family Residential District – Traditional Subdistrict and to adopt an Alternate Plan to Amend Conceptual Site Plan for the Vista Trails Duplexes on Lot F-1, and for other purposes.

WHEREAS, Article 15, Division 15.500 of the Unified Development Ordinance entitled "Procedures and Administration for Planned Unit Development Approval" permits the establishment in the City of Valparaiso of planned unit developments ("PUDs"), and an application for approval of The Brooks at Vale Park PUD District was filed by VJW Limited, LLC (on behalf of VJW The Brooks, LLC hereinafter sometimes referred to as "Developer"); and

WHEREAS, the Valparaiso Plan Commission and the Common Council for the City of Valparaiso, after all proper legal notice, did conduct a public hearing and other procedural requirements of the Indiana Code and the Unified Development Ordinance for the City of Valparaiso for the consideration of the application and the establishment of the PUD District; and

WHEREAS, on July 22, 2019, the Common Council did adopt The Brooks PUD Ordinance by a vote of 6-0 and said The Brooks PUD Ordinance was duly recorded on January 31, 2020 in the Office of the Recorder of Porter County, Indiana as Document No. 2020-002278; and

WHEREAS, pursuant to Section 17 of Schedule 1 to The Brooks PUD Ordinance, the Plan Commission, may approve a development standard or an alternate plan that is not included in, or is different from, those set forth in this The Brooks at Vale Park PUD Ordinance or which is different than previously approved by the Plan Commission; and

WHEREAS, the Plan Commission did approve an Alternate Plan to The Brooks at Vale Park PUD on November 10, 2020 which plan is set forth on Exhibit B thereto modifying the area marked as Amendment Area thereon to be Multi-Family Residential District, Twin Home Subdistrict; and

WHEREAS, the Developer did further modify and alter Exhibit C, the Conceptual Site Plan for The Brooks at Vale Park PUD set forth in Schedule 1 of The Brooks PUD Ordinance only as to that real estate formerly known as Lot F-1; and

WHEREAS, Exhibit A attached hereto and incorporated herein depicts the changes to the proposed Conceptual Site Plan as to the Amendment Area which shall now include nine (9) separate two-family residential buildings (duplexes) generally as shown on said Exhibit A; and

NOW, THEREFORE, The Brooks PUD Ordinance provides and allows for the amendment of development standards and approval of the amendment to the alternative plans upon petition of the VJW The Brooks, LLC, its successors and assigns, the Developer defined in The Brooks PUD Ordinance and Developer has petitioned for and seeks the following amendment to the Alternative Plan to The Brooks PUD Ordinance.

- **Section 1. Incorporation of Recitals**. The above and foregoing recitals are hereby incorporated in this instrument by reference.
- <u>Section 2.</u> <u>Definitions</u>. Terms defined in the The Brooks PUD Ordinance which are used in this Amendment shall have the meaning as set forth in the The Brooks PUD Ordinance unless otherwise expressly specified herein or the context expressly provides otherwise.
- <u>Section 3.</u> Corner Lots in the <u>Single-Family Residential District</u> <u>Traditional Subdistrict</u>. The following corner lots in Figure 3.0 are within the Single-Family Residential District Traditional Subdistrict and may apply a reduced street side yard setback (20' vs. 30') when the home fronts a particular road as shown in Figure 3.0.

Lot Number	Front Yard Face	Street Side Yard	Side Yard ROW
5	Whispering Brook Ln.	20 feet	Winding Brook Dr.
30	Whispering Brook Ln.	20 feet	Winding Brook Dr.
37	Whispering Brook Ln.	20 feet	Winding Brook Dr.
57	Winding Brook Dr.	20 feet	Old Oak Drive

Figure 3.0

The Single-Family Residential District – Traditional Subdistrict has been advanced with a Secondary Development Plan recorded May 17, 2022 as Document No. 2022-010829 (Plat File 60-B-3C1 in the Office of the Recorder of Porter County, Indiana.

<u>Section 4.</u> Twin House Subdistrict – Rear Yard Setback. To the extent that this Amendment is inconsistent with the Alternate Plan and Schedule 1 to The Brooks PUD Ordinance, the following shall modify Section 7.4 therein only to the extent that they are inconsistent with the following:

(a) <u>Development Standards</u>. Table 7.4 is hereby amended to modify the rear yard setback in the Twin House Subdistrict established by this Amendment to Alternate Plan which shall apply to the Twin House Subdistrict only.

Table 7.4 Multi-Family Residential District Development Standards						
PUD Subdistrict	Min. Lot Size (Sq. Ft.)	Mii Front	finimum Yards  Rear Side/Ea.		Height (feet)	Max. Lot Coverage
		11011	Real	Side/La.		
Twin House Subdistrict	See Exhibit A	10'	8'	0/5'	37	85%

- (b) Architectural Design Standards. Only within the Twin House Subdistrict, the requirement in Section 7.5(b)(1) requiring sixty percent (60%) of the first floor of all elevations, excluding windows, doors and similar appurtenances, to be brick, stone or cultured stone shall not apply. The Twin House architecture shall be one-story craftsman style design which does not lend itself to masonry as the primary siding material. It is anticipated that Hardie board, or a similar product, will be the primary siding material for the Twin House Subdistrict duplex homes.
- (c) <u>Driveway Length.</u> Each Lot shall have a minimum driveway length of twenty feet (20') measured from the private road easement line.

<u>Section 5.</u> <u>Private Streets.</u> Within the new Twin House Subdistrict, all streets, parking areas and associated driveways shall remain private and not dedicated to the public.

- Section 6. Consideration of Amendment by Plan Commission. On or about September 3, 2024, the Plan Commission did conduct a public hearing pursuant to the rules of the Plan Commission to consider the Amendment to the Alternate Plan and Conceptual Site Plan for Vista Trails Duplexes, and after hearing Developer's arguments and evidence in support of the amendment, remonstrance and opposition or the opportunity for the receipt thereof, and comments, reports or recommendations of staff and others, the Plan Commission for the City of Valparaiso, Indiana now finds and determines that the amendment and alternate plan to the Amendment Area set forth on Exhibit A hereto:
  - (i) will not substantially affect the integrity of the Site Improvement Plans for the Property;
  - (ii) is appropriate for the site and its surrounding;
  - (iii) is compatible and consistent with the intent of the stated standards or Site Improvement Plans.
- Section 7. Severability. The invalidity of any section, clause, sentence or provision of this amendment shall not affect the validity of any other part of this amendment which can be given effect without such invalid part or parts.
- <u>Section 8.</u> <u>Effective Date.</u> This amendment and alternative plan shall be in full force and effect after its passage and approval by the Plan Commission for the City of Valparaiso.

#### **APPROVAL**

This Amendment to Corner Lot Setbacks for the Single-Family Residential District – Traditional Subdistrict and to Adopt an Alternate Plan for Vista Trails Duplexes was approved by the Plan Commission for the City of Valparaiso, Indiana this 1<sup>st</sup> day of October, 2024.

Matt Evans, President Plan Commission City of Valparaiso

I affirm under the penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. *Todd A. Leeth* 

This Instrument Prepared By:

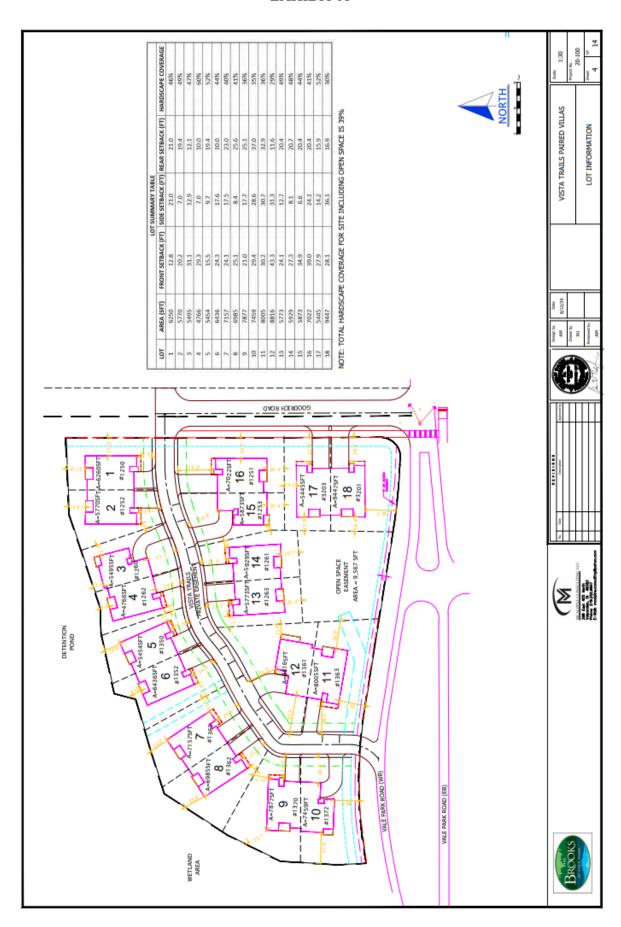
TODD A. LEETH LEETH LAW LLC 2700 VALPARAISO ST., #2412 VALPARAISO, INDIANA 46384

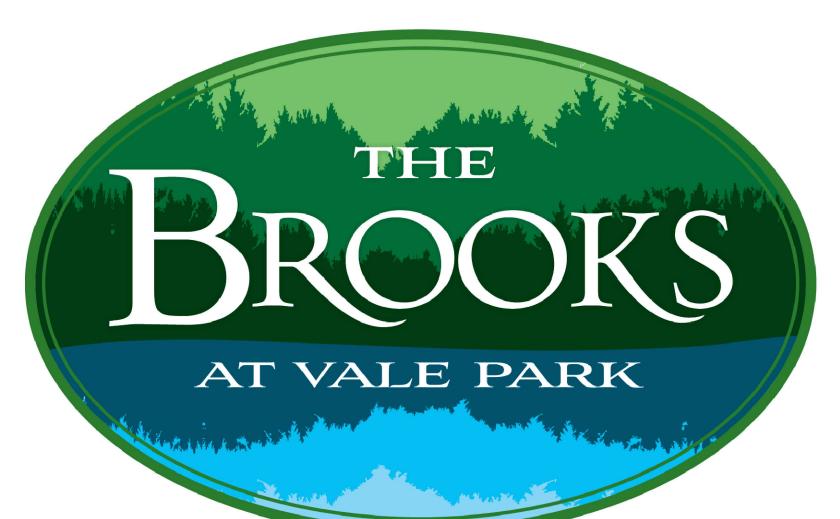


September 25, 2024

Https://leethlaw.sharepoint.com/sites/LeethLaw/Shared Documents/Client Folders/Tango/TCW Development 19369/Beauty Creek Project -1/Vista Trails formerly Trailside Duplexes/Armendment to Alt Plan for Vista Trails Duplex 2024-09-03.docx

#### **EXHIBIT A**

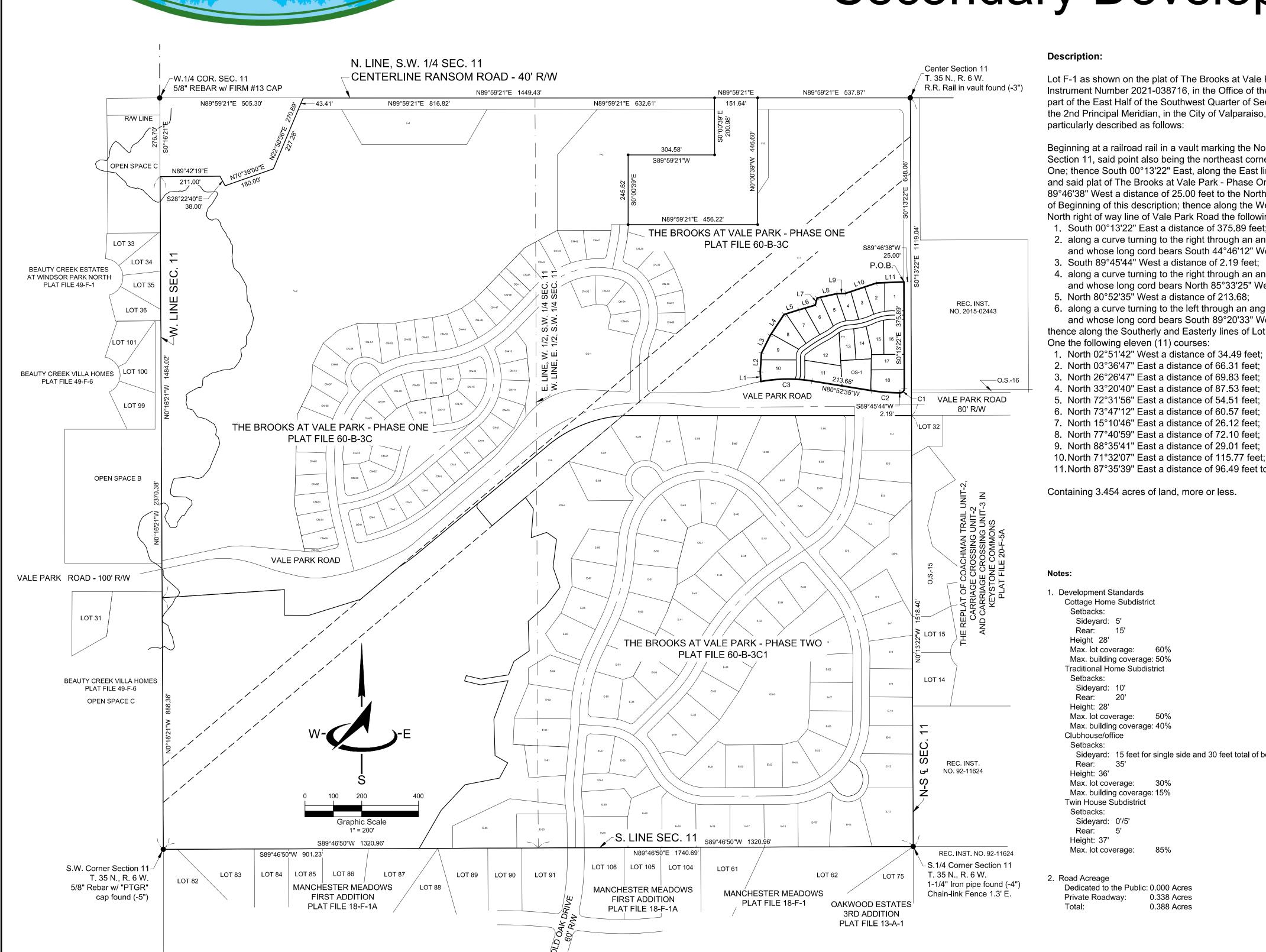




# The Brooks at Vale Park - Vista Trails Paired Villas a Planned Unit Development

City of Valparaiso, Center Township, Porter County, Indiana S.W. 1/4 Section 11, Township 35 North, Range 6 West

# Secondary Development Plan



#### **Description:**

Lot F-1 as shown on the plat of The Brooks at Vale Park - Phase One, recorded in Plat File 60-B-3C, Instrument Number 2021-038716, in the Office of the Recorder of Porter County, Indiana, also being part of the East Half of the Southwest Quarter of Section 11, Township 35 North, Range 6 West, of the 2nd Principal Meridian, in the City of Valparaiso, Porter County, State of Indiana, and being more particularly described as follows:

Beginning at a railroad rail in a vault marking the Northeast corner of the Southwest Quarter of said Section 11, said point also being the northeast corner of said plat of The Brooks at Vale Park - Phase One; thence South 00°13'22" East, along the East line of the Southwest Quarter of said Section 11 and said plat of The Brooks at Vale Park - Phase One, a distance of 648.06 feet; thence South 89°46'38" West a distance of 25.00 feet to the Northeast corner of said Lot F-1, also being the Point of Beginning of this description; thence along the West right of way line of Goodrich Road and the North right of way line of Vale Park Road the following six (6) courses:

- 1. South 00°13'22" East a distance of 375.89 feet;
- 2. along a curve turning to the right through an angle of 89°59'08", having a radius of 15.00 feet, and whose long cord bears South 44°46'12" West for a distance of 21.21 feet:
- 3. South 89°45'44" West a distance of 2.19 feet;
- 4. along a curve turning to the right through an angle of 9°21'41", having a radius of 600.00 feet, and whose long cord bears North 85°33'25" West for a distance of 97.92 feet;
- 5. North 80°52'35" West a distance of 213.68;
- 6. along a curve turning to the left through an angle of 19°33'44", having a radius of 530.00 feet, and whose long cord bears South 89°20'33" West for a distance of 180.08 feet; thence along the Southerly and Easterly lines of Lot V-1 of said The Brooks at Vale Park - Phase
- One the following eleven (11) courses: 1. North 02°51'42" West a distance of 34.49 feet:
- 2. North 03°36'47" East a distance of 66.31 feet; 3. North 26°26'47" East a distance of 69.83 feet;
- 4. North 33°20'40" East a distance of 87.53 feet 5. North 72°31'56" East a distance of 54.51 feet
- 6. North 73°47'12" East a distance of 60.57 feet; 7. North 15°10'46" East a distance of 26.12 feet; 8. North 77°40'59" East a distance of 72.10 feet; 9. North 88°35'41" East a distance of 29.01 feet;
- 11. North 87°35'39" East a distance of 96.49 feet to the Point of Beginning.

#### Containing 3.454 acres of land, more or less.

1. Development Standards Cottage Home Subdistrict Sideyard: 5' Height 28'

> Max. lot coverage: Max. building coverage: 50% Traditional Home Subdistrict Setbacks:

Sideyard: 10' Height: 28' Max. lot coverage:

Max. building coverage: 40% Clubhouse/office Setbacks:

Sideyard: 15 feet for single side and 30 feet total of both sides

Height: 36' Max. lot coverage: Max. building coverage: 15% Twin House Subdistrict Setbacks: Sideyard: 0'/5' Rear:

Height: 37' Max. lot coverage:

2. Road Acreage Dedicated to the Public: 0.000 Acres 0.338 Acres Private Roadway: 0.388 Acres

	CURVE TABLE							
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD DISTANCE		
C1	23.56'	15.00'	89°59'08"	15.00'	S44°46'12"W	21.21'		
C2	98.03'	600.00'	9°21'41"	49.13'	N85°33'25"W	97.92'		
C3	180.96'	530.00'	19°33'44"	91.37'	S89°20'33"W	180.08'		

LINE TABLE					
INE	LENGTH	BEARING			
L1	34.49'	N2°51'42"W			
L2	66.31'	N3°36'47"E			
L3	69.83'	N26°26'47"E			
L4	87.53'	N33°20'40"E			
L5	54.51'	N72°31'56"E			
L6	60.57'	N73°47'12"E			
L7	26.12'	N15°10'46"E			
L8	72.10'	N77°40'59"E			
L9	29.01'	N88°35'41"E			
L10	115.77'	N71°32'07"E			
L11	96.49'	N87°35'39"E			

SCALE: 1 = 200'

DATE OF FIELDWORK:

CAD FILE: 69787PLAT.dwg

1022069787

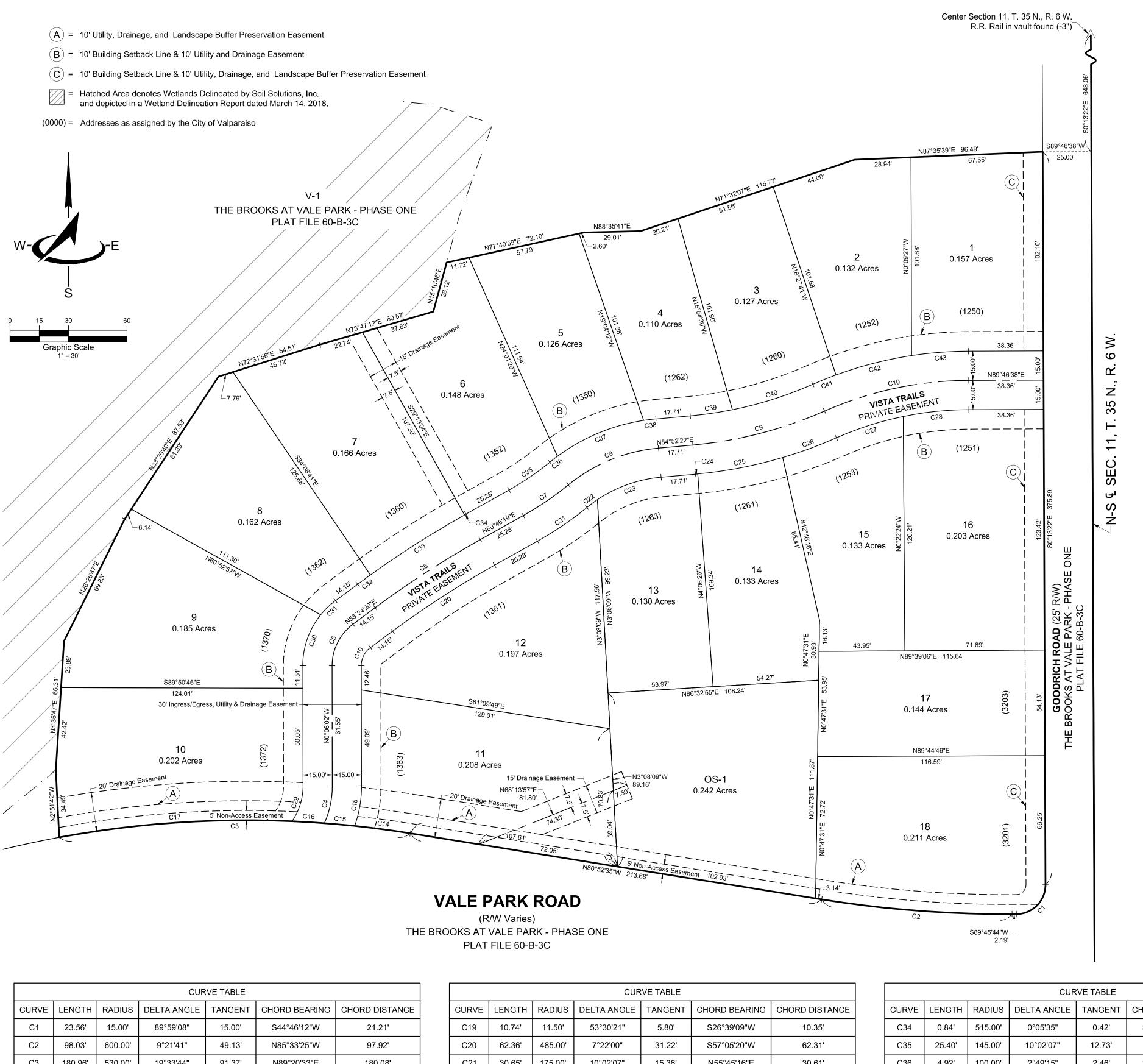
The Brooks at Vale Park - Vista Trails Paired Villas a Planned Unit Development DATE OF DRAWING: 8/12/2024 Secondary Development Plan DATE OF CERTIFICATION: -REVISION

> SW 1/4 Section 11, T. 35 N., R. 6 W. City of Valparaiso, Center Township, Porter County, Indiana



8888 E. U.S. Hwy. 20 P.O. Box 960 New Carlisle, Indiana 46552 (574) 654-3450

SHEET 1 OF 2



#### **Deed of Dedication**

We, the undersigned The Brooks Land, LLC, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided said real estate in accordance with the attached plat. This subdivision shall be known and designated as The Brooks at Vale Park - Vista **Trails Paired Villas**. There are strips of ground of various widths shown on this plat and labeled as easements for various purposes. Utility easements are reserved for the use of public utilities for the installation of mains, poles, ducts, lines and wires, subject at all times to the proper authorities and to the easement herein reserved. Drainage easements are reserved for the use of the homeowners and/or the property owners' association to provide for the construction, maintenance, and operation of drainage conduits, swales, channels, overflows, detention basins, or other runoff management facilities. No permanent or other structures are to be erected or maintained upon said easements. Owners of lots in this subdivision shall take their titles subject to the rights of the public utilities and to the rights of the owners of other lots in this subdivision.

The undersigned does hereby grant, convey, and establishes for the benefit of the future owners of the lots within Vista Trails Paired Villas, their successors, assigns, tenants, agents, employees, contractors, invitees, and licensees, and for the use and benefit of all parties providing services to or for the benefit of the owners, a non-exclusive easement over, across, and through the Vista Trails Private Easement roadway located within this subdivision, as depicted on the Secondary Development Plan for the following purposes: (a) access by emergency vehicles, including but not limited to police, fire, and ambulance services; (b) municipal service vehicles such trash collection and, utility service, maintenance, and repair; (c) access by the United States Postal Service for the purpose of delivering mail; (d) access by delivery services, including but not limited to parcel delivery companies, couriers, and other similar services; and access by service providers, including but not limited to utility companies, waste collection services, maintenance and repair personnel, and other similar service providers.

The Brooks of Vale Park is further governed by Ordinance No. 2019-11, An Ordinance Establishing Planned Unit Development Districts for The Brooks at Vale Park adopted July 22, 2019 by the Common Council of the City of Valparaiso, Indiana and recorded January 31, 2020 as Document No. 2020-002278 in the Office of the Recorder of Porter County, Indiana.

The operation and maintenance of certain areas within the Secondary Development Plan for The Brooks at Vale Park and specifically the Regional Storm Water Management District therein are covered by that certain Maintenance Agreement by and between VJW The Brooks, LLC, The Brooks Land, LLC, the City of Valparaiso, and the Valparaiso City Utilities dated October 22, 2019 ("Maintenance Agreement"). Operation and maintenance of open spaces, common areas, rear or side yard swales, detention facilities, and any other stormwater infrastructure not covered in the Maintenance Agreement shall be by the Property Owners' Association ("Association"). In the event of an emergency where property damage or personal injury may result from the Association's failure to maintain or repair said facilities, the City shall have the right to enter upon the property, make any necessary corrections to remedy the situation and then recover all administrative, legal, engineering, and construction costs for said work from the Association or by special assessment of the benefitted property owners.

Portions of The Brooks at Vale Park Planned Unit Development shall further be governed by covenants and restrictions which shall run with the land and shall be binding on all parties and all persons claiming, by, through or under the owner which will be established hereinafter pursuant a certain Declaration of Covenants and Restrictions or similar instrument(s). The owners reserve the right to establish additional covenants, restrictions, easements and obligations on the land within the Secondary Development Plan, or to submit portions thereof to the Indiana Condominium Act (I.C. 32-25-1-1 et seq.).

Witness our Hands and Seals this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_.

V. Jacob Wagner, Manager The Brooks Land, LLC 212 E. Lincolnway Valparaiso, Indiana 46383

STATE OF INDIANA ) COUNTY OF PORTER )

Before me, a Notary Public in and for the said County and State, personally appeared V. Jacob Wagner, Manager and acknowledged the execution of the foregoing as his voluntary act and deed for the purposes herein expressed.

Witness my hand and Notarial Seal this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_.

[ Notary Public's Signature]

[ Notary Public's' Printed Name]

My Commission expires Commission No. \_\_\_\_\_

#### Plan Commission Certificate

Under authority provided by Indiana Code 36-7-4, et seq., enacted by the General Assembly of the State of Indiana and Ordinance adopted by the Common Council of the City of Valparaiso, this plat was given approval by the City as follows: Approved by the Valparaiso Plan Commission at a regular meeting held on \_\_\_\_\_

Valparaiso Plan Commission

**Executive Director** 

#### **Board of Public Works and Safety Certification**

This plat was examined by the Board of Public Works and Safety of the City of Valparaiso for compliance with the Standards Manual, and approved this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_.

, Jon Costas, Mayor

, Holly Howe, member

, Bill Oeding, member

ATTEST: \_, Holly Taylor, Clerk-Treasurer

#### **Surveyors Certificate**

I, Christian F. Marbach, hereby certify that I am a Land Surveyor licensed in compliance with the laws of the State of Indiana, and that to the best of my knowledge, this plat conforms to the requirements of the City of Valparaiso Unified Development Ordinance, and the Standards Manual; that the markers and monuments shown on the plat actually exist; and that their location, size, type and material are accurately shown.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.

Christian F. Marbach, PS Reg. No. LS80880002 State of Indiana

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD DISTANCE
C1	23.56'	15.00'	89°59'08"	15.00'	S44°46'12"W	21.21'
C2	98.03'	600.00'	9°21'41"	49.13'	N85°33'25"W	97.92'
C3	180.96'	530.00'	19°33'44"	91.37'	N89°20'33"E	180.08'
C4	19.73'	47.00'	24°03'18"	10.01'	N11°55'37"E	19.59'
C5	24.75'	26.50'	53°30'21"	13.36'	N26°39'09"E	23.86'
C6	64.29'	500.00'	7°22'00"	32.19'	N57°05'20"E	64.24'
C7	28.02'	160.00'	10°02'07"	14.05'	N55°45'16"E	27.99'
C8	50.64'	85.00'	34°08'09"	26.10'	N67°48'17"E	49.90'
C9	70.05'	215.00'	18°40'07"	35.34'	N75°32'18"E	69.74'
C10	76.11'	185.00'	23°34'24"	38.60'	N77°59'26"E	75.58'
C14	28.76'	530.00'	3°06'32"	14.38'	N82°25'51"W	28.75'
C15	15.63'	530.00'	1°41'22"	7.81'	N84°49'48"W	15.63'
C16	16.59'	530.00'	1°47'35"	8.29'	N86°34'16"W	16.59'
C17	119.98'	530.00'	12°58'15"	60.25'	S86°02'49"W	119.73'
C18	20.99'	62.00'	19°23'58"	10.60'	N9°35'57"E	20.89'

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD DISTANCE
C19	10.74'	11.50'	53°30'21"	5.80'	S26°39'09"W	10.35'
C20	62.36'	485.00'	7°22'00"	31.22'	S57°05'20"W	62.31'
C21	30.65'	175.00'	10°02'07"	15.36'	N55°45'16"E	30.61'
C22	6.70'	70.00'	5°29'14"	3.35'	S53°28'50"W	6.70'
C23	35.00'	70.00'	28°38'54"	17.87'	S70°32'54"W	34.64'
C24	1.17'	230.00'	0°17'28"	0.58'	N84°43'38"E	1.17'
C25	44.43'	230.00'	11°04'06"	22.28'	N79°02'51"E	44.36'
C26	29.34'	230.00'	7°18'33"	14.69'	N69°51'31"E	29.32'
C27	36.07'	170.00'	12°09'29"	18.10'	S72°16'59"W	36.01'
C28	33.87'	170.00'	11°24'55"	16.99'	S84°04'11"W	33.81'
C29	19.28'	32.00'	34°31'33"	9.94'	N17°09'45"E	18.99'
C30	28.28'	41.50'	39°02'55"	14.72'	S19°25'26"W	27.74'
C31	10.47'	41.50'	14°27'26"	5.26'	S46°10'37"W	10.44'
C32	8.08'	515.00'	0°53'55"	4.04'	S53°51'17"W	8.08'
C33	57.30'	515.00'	6°22'30"	28.68'	S57°29'30"W	57.27'

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD DISTANCE
C34	0.84'	515.00'	0°05'35"	0.42'	S60°43'32"W	0.84'
C35	25.40'	145.00'	10°02'07"	12.73'	N55°45'16"E	25.36'
C36	4.92'	100.00'	2°49'15"	2.46'	S52°08'50"W	4.92'
C37	48.32'	100.00'	27°41'05"	24.64'	S67°24'00"W	47.85'
C38	6.34'	100.00'	3°37'49"	3.17'	S83°03'27"W	6.33'
C39	21.82'	200.00'	6°15'00"	10.92'	N81°44'52"E	21.81'
C40	43.35'	200.00'	12°25'07"	21.76'	N72°24'48"E	43.26'
C41	12.86'	200.00'	3°41'08"	6.43'	S68°02'48"W	12.86'
C42	40.05'	200.00'	11°28'28"	20.09'	S75°37'36"W	39.99'
C43	29.37'	200.00'	8°24'48"	14.71'	S85°34'14"W	29.34'

SCALE:	1" = 30"		
DATE OF FIE	LDWORK:	The Brooks at Vale Park - Vista Trails Paired Villas	
DATE OF DRA	AWING: 8/12/2024	a Planned Unit Development	
DATE OF CER	RTIFICATION: -	Secondary Development Plan	
DATE	REVISION		
		SW 1/4 Section 11, T. 35 N., R. 6 W.	
		□ City of Valnaraiso Center Township Porter County Indiana	

City of Valparaiso, Center Township, Porter County, Indiana

8888 E. U.S. Hwy. 20 P.O. Box 960 New Carlisle, Indiana 46552 (574) 654-3450 69787PLAT.dwg

CAD FILE:

JOB NUMBER

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SHEET 2 OF 2 © 2024 Surveying And Mapping, LLC

# VISTA TRAILS PAIRED VILLAS

SHEET INDEX				
SHEET No.	DESCRIPTION			
1	COVER SHEET			
2	EXISTING CONDITIONS AND DEMOLITION			
3	SITE LAYOUT			
4	LOT INFORMATION			
5	EROSION CONTROL PLAN			
6	GRADING PLAN			
7	UTILITIES PLAN			
8	TYPICAL ROAD PROFILES			
9	SEWER AND WATER PROFILE: GOODRICH ROAD			
10	SEWER PROFILE: VISTA TRAILS			
11	WATER MAIN PROFILE: VISTA TRAILS			
12	EROSION CONTROL DETAILS AND NOTES			
13	CONSTRUCTION DETAILS 1			
14	CONSTRUCTION DETAILS 2			

BEGIN CONSTRUCTION: SUMMER 2024 END CONSTRUCTION: SUMMER 2025



PORTER COUNTY

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Vicinity Map
not to scale

PROJECT SITE: 1000 VALE PARK ROAD VALPARAISO, IN 46385 41.497018, -87.075521



BROOKS AT VALE PARK PROJECT OWNER: BROOKS LAND LLC CONTACT: CHUCK WILLIAMS

ADDRESS: 212 Lincolnway, Valparaiso, IN 46383

PHONE: (219) 242-1520

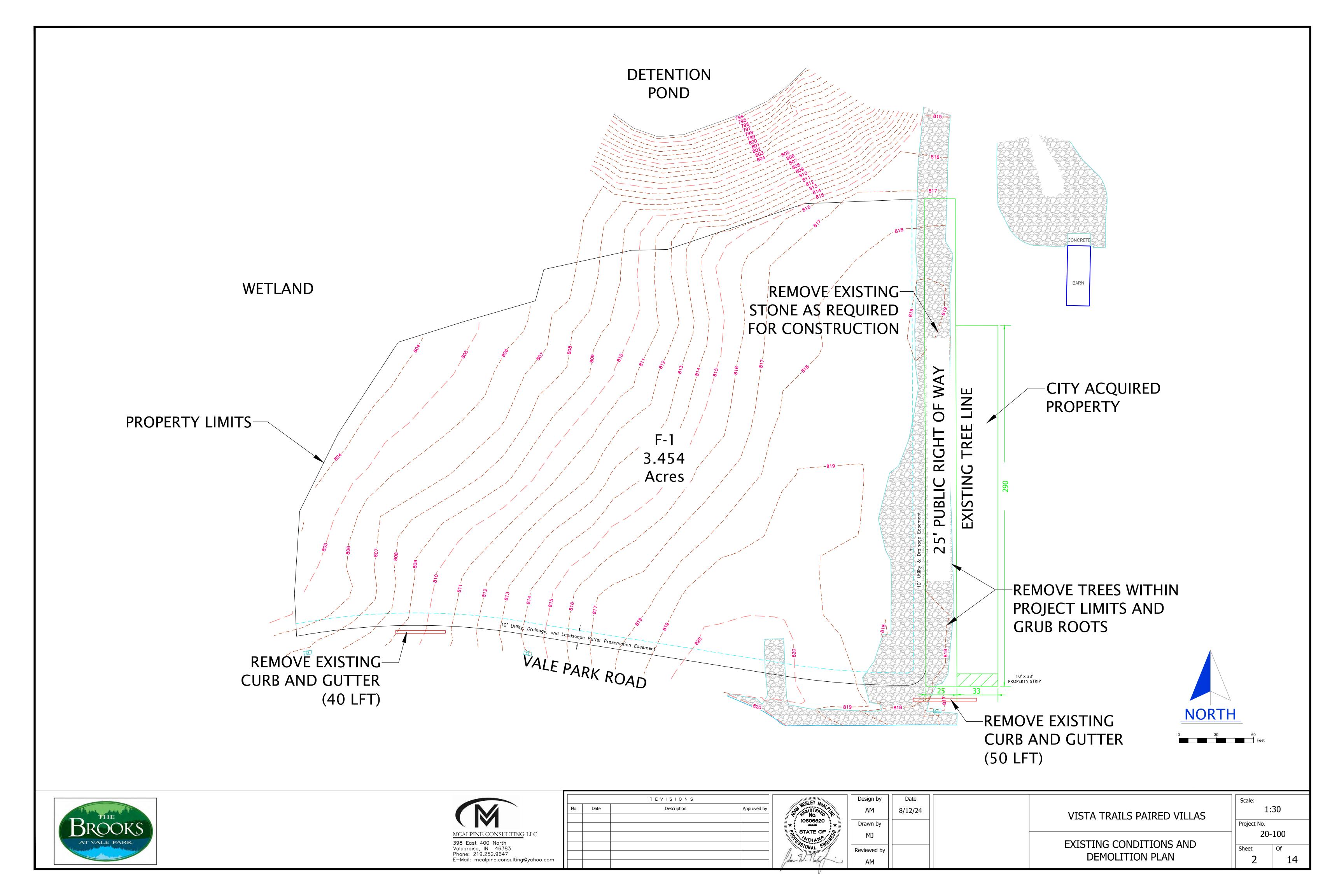
E-MAIL: chuck@clwilliamscompanies.com

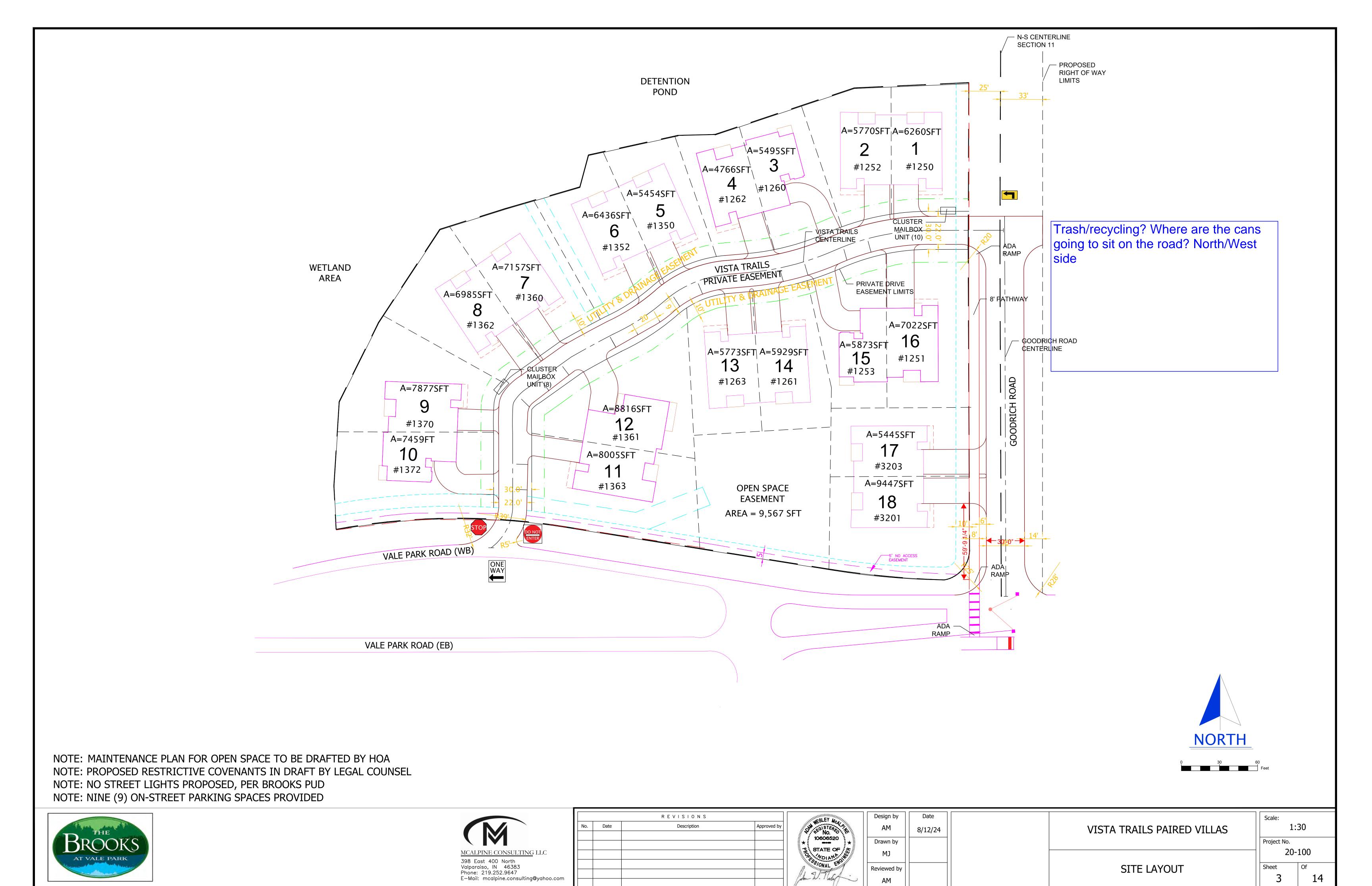


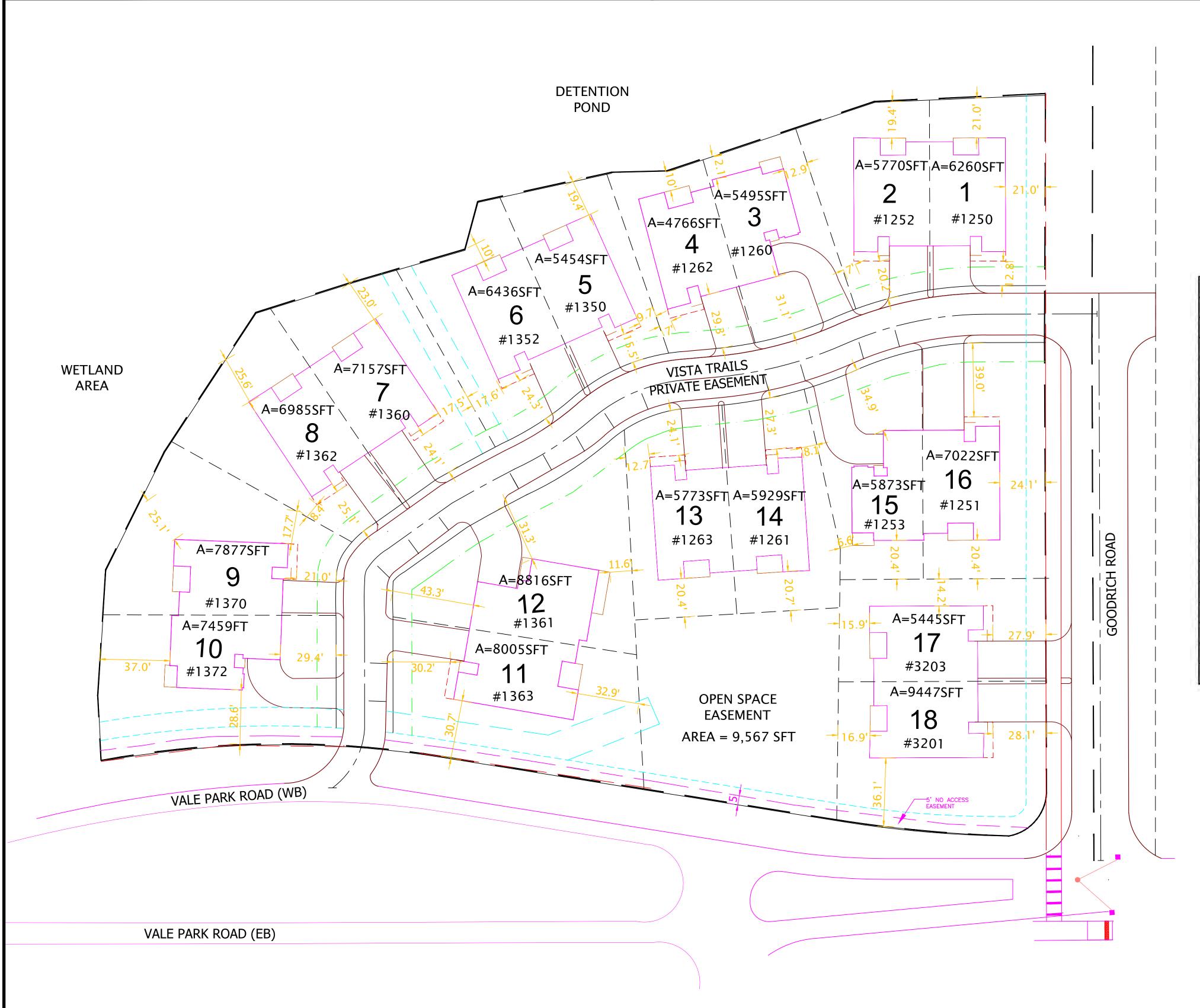
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MINIMUM ENTITY	Reviewed by	
Jan W. Tland	454	

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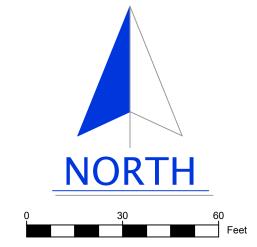


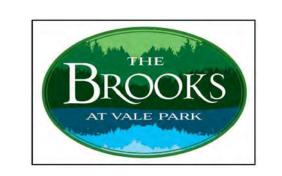




LOT SUMMARY TABLE					
LOT	AREA (SFT)	FRONT SETBACK (FT)	SIDE SETBACK (FT)	REAR SETBACK (FT)	HARDSCAPE COVERAGE
1	6250	12.8	21.0	21.0	46%
2	5770	20.2	7.0	19.4	49%
3	5495	31.1	12.9	12.1	47%
4	4766	29.3	7.0	10.0	60%
5	5454	15.5	9.7	19.4	52%
6	6436	24.3	17.6	10.0	44%
7	7157	24.1	17.5	23.0	40%
8	6985	25.1	8.4	25.6	41%
9	7877	21.0	17.7	25.1	36%
10	7459	29.4	28.6	37.0	35%
11	8005	30.2	30.7	32.9	36%
12	8816	43.3	31.3	11.6	29%
13	5773	24.1	12.7	20.4	49%
14	5929	27.3	8.1	20.7	48%
15	5873	34.9	6.6	20.4	44%
16	7022	39.0	24.1	20.4	41%
17	5445	27.9	14.2	15.9	52%
18	9447	28.1	36.1	16.9	30%

NOTE: TOTAL HARDSCAPE COVERAGE FOR SITE INCLUDING OPEN SPACE IS 39%







No. Date	Description	Approved by



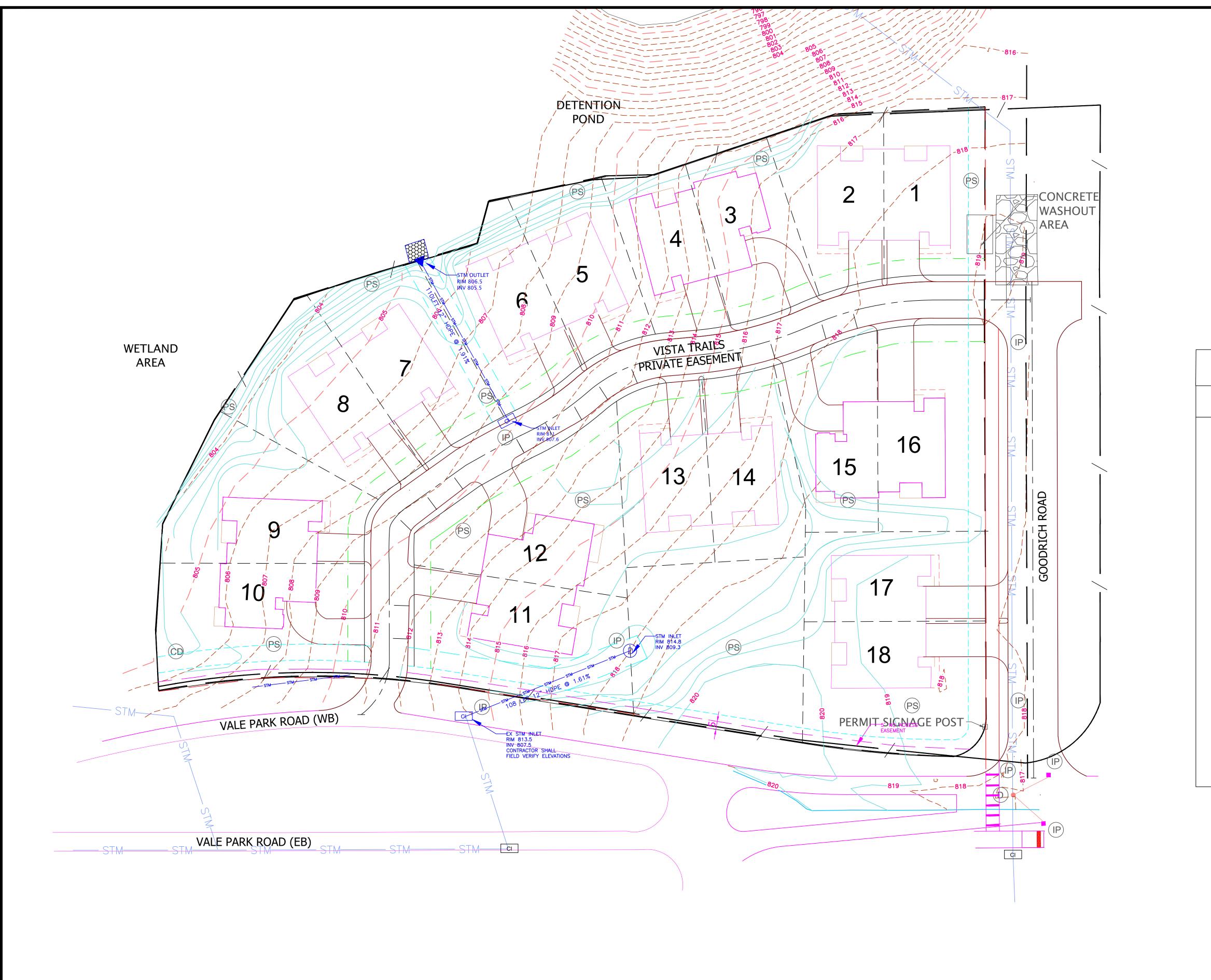
Design by	Date	
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Orawn by		
MJ		
eviewed by		

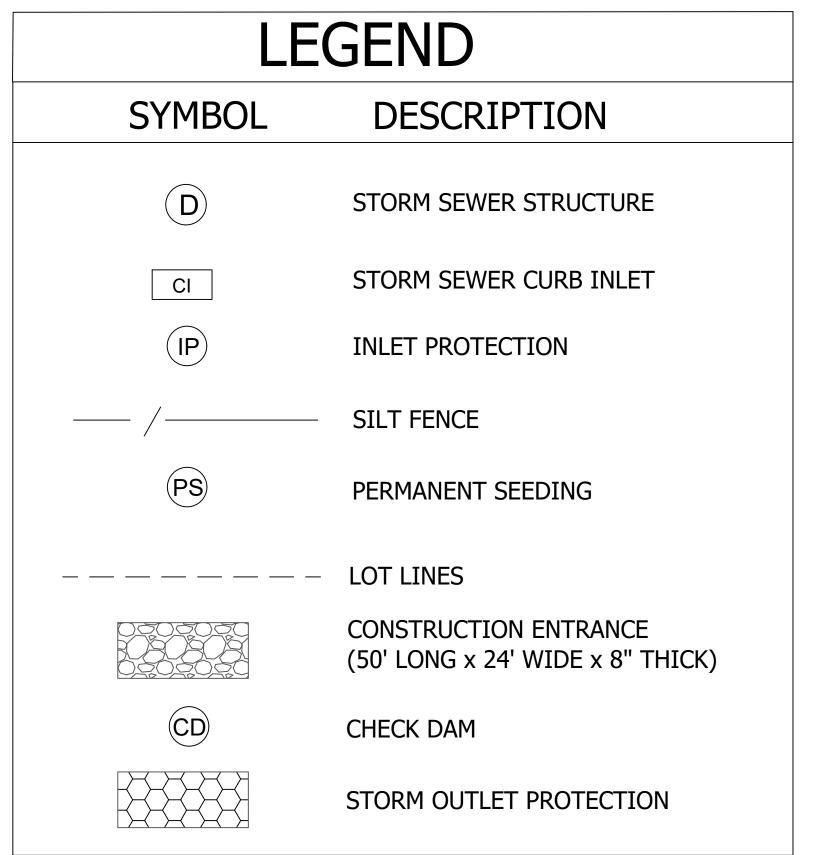
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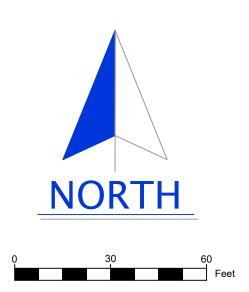
LOT INFORMATION

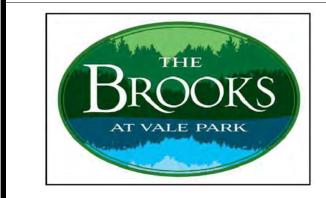
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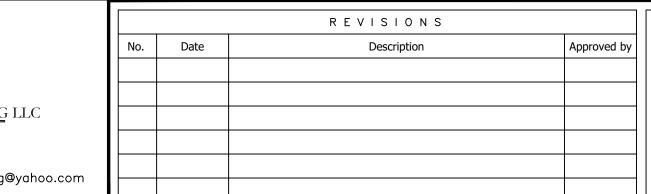


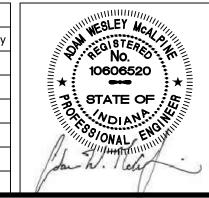












Design by

Drawn by

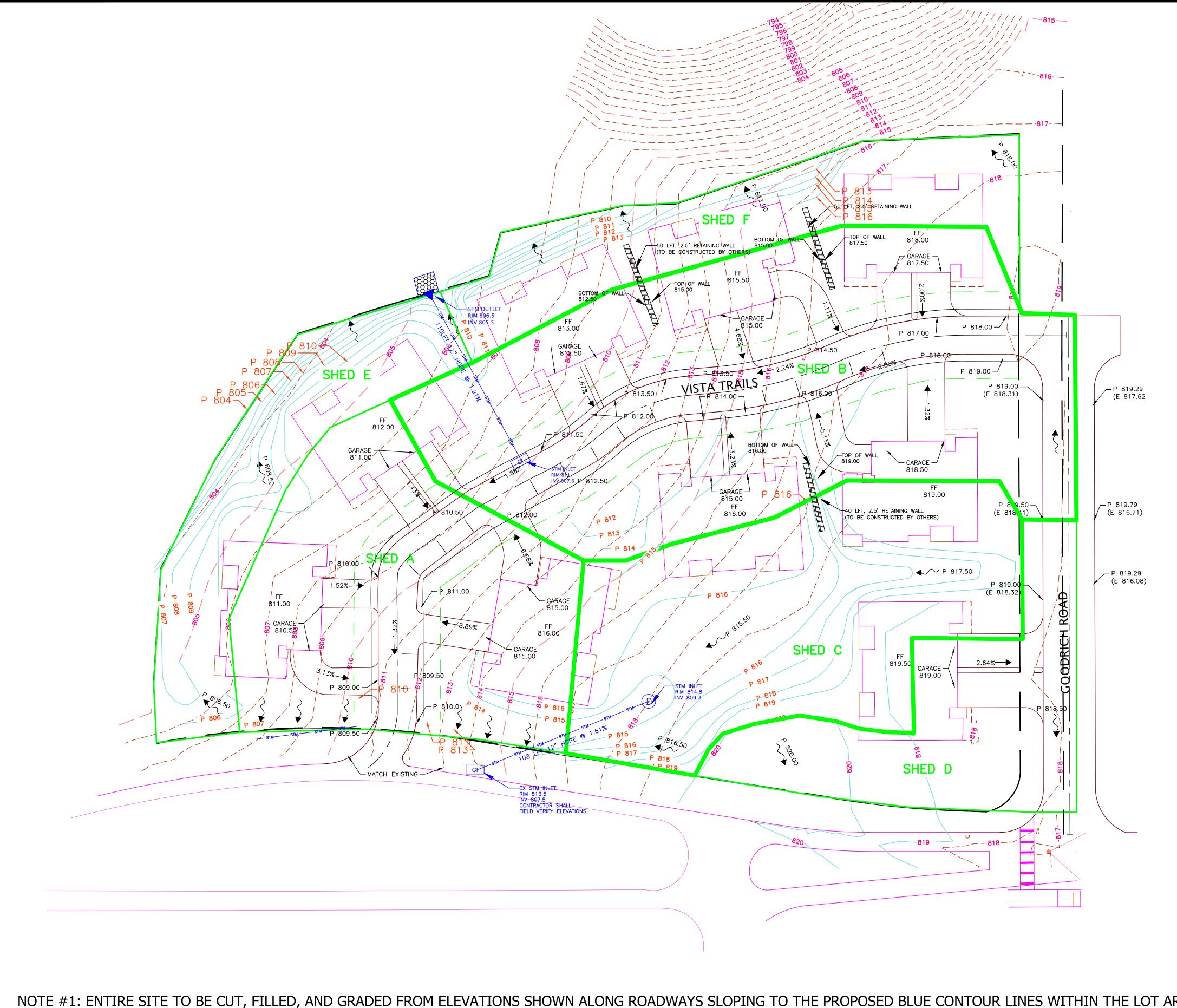
MJ

Reviewed by

AM

Date	
8/12/24	VISTA TRAILS PAIRED VILLAS
	EROSION CONTROL PLAN

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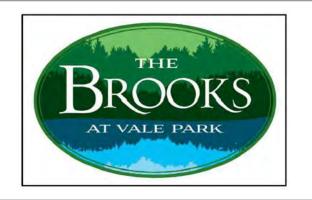
WATERSHED BOUNDARY

INITIAL MASS EXCAVATION PROPOSED CONTOUR LINES

WATERSHED	AREA (SFT)
SHED A	28,409
SHED B	51,325
SHED C	31,309
SHED D	15,264
SHED E	14,568
SHED F	16,862

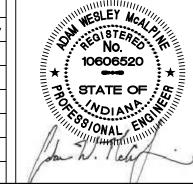


NOTE #1: ENTIRE SITE TO BE CUT, FILLED, AND GRADED FROM ELEVATIONS SHOWN ALONG ROADWAYS SLOPING TO THE PROPOSED BLUE CONTOUR LINES WITHIN THE LOT AREAS NOTE #2: SITE CUT, FILLS AND GRADING FOR PROPOSED BUILDING PADS, DRIVES, AND SIDEWALKS TO BE COMPLETED BY HOME BUILDER





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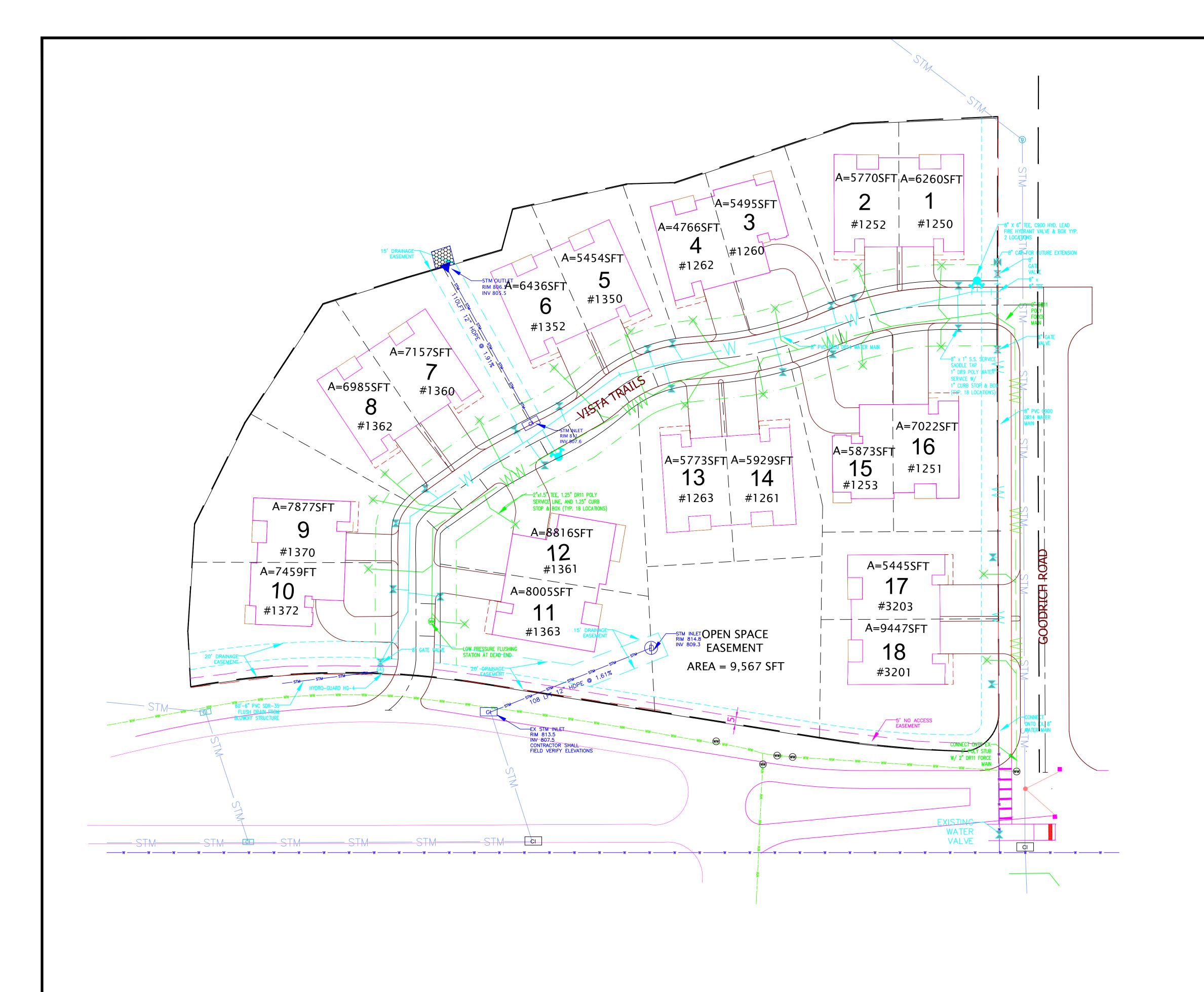


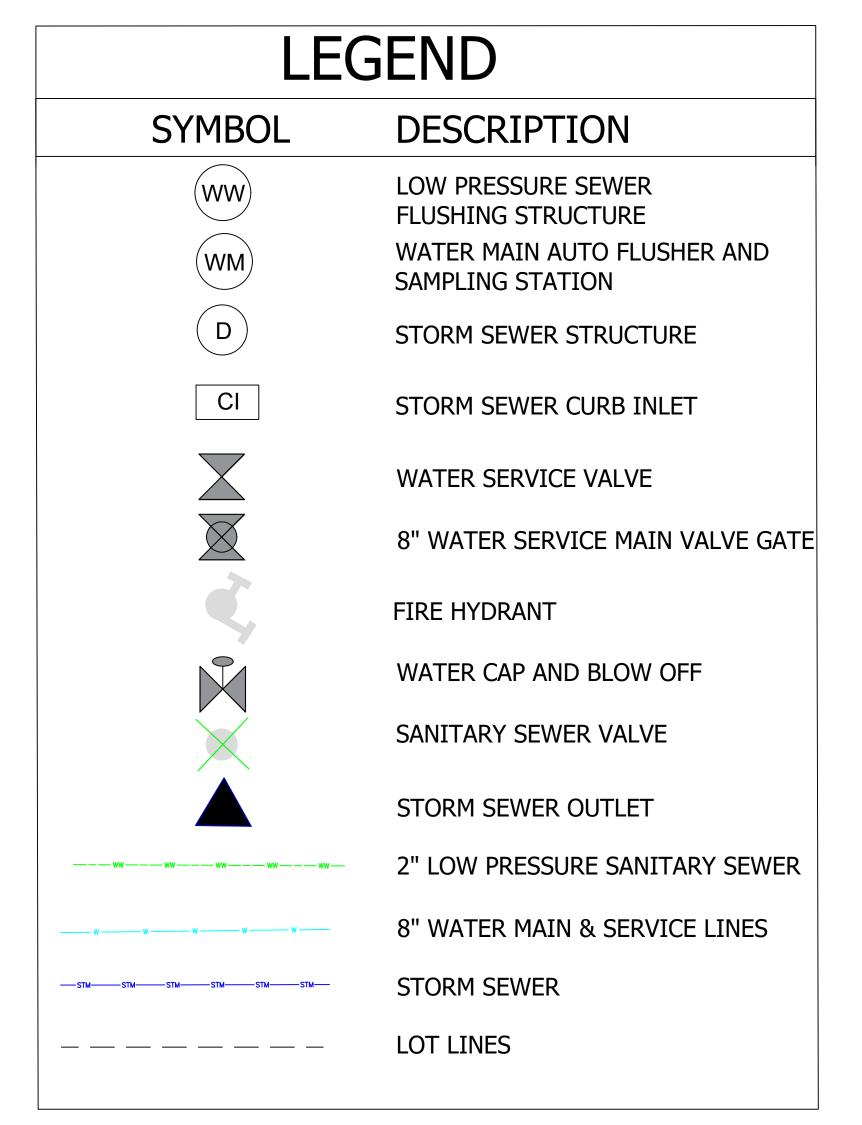
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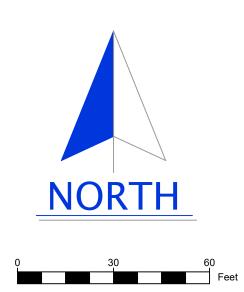
VISTA TRAILS PAIRED VILLAS

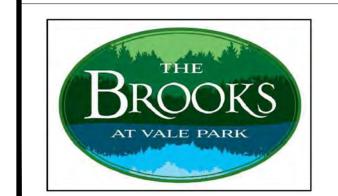
GRADING PLAN

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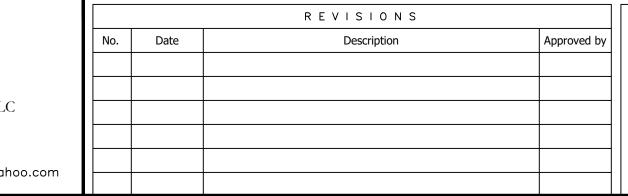


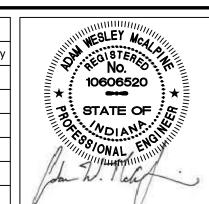










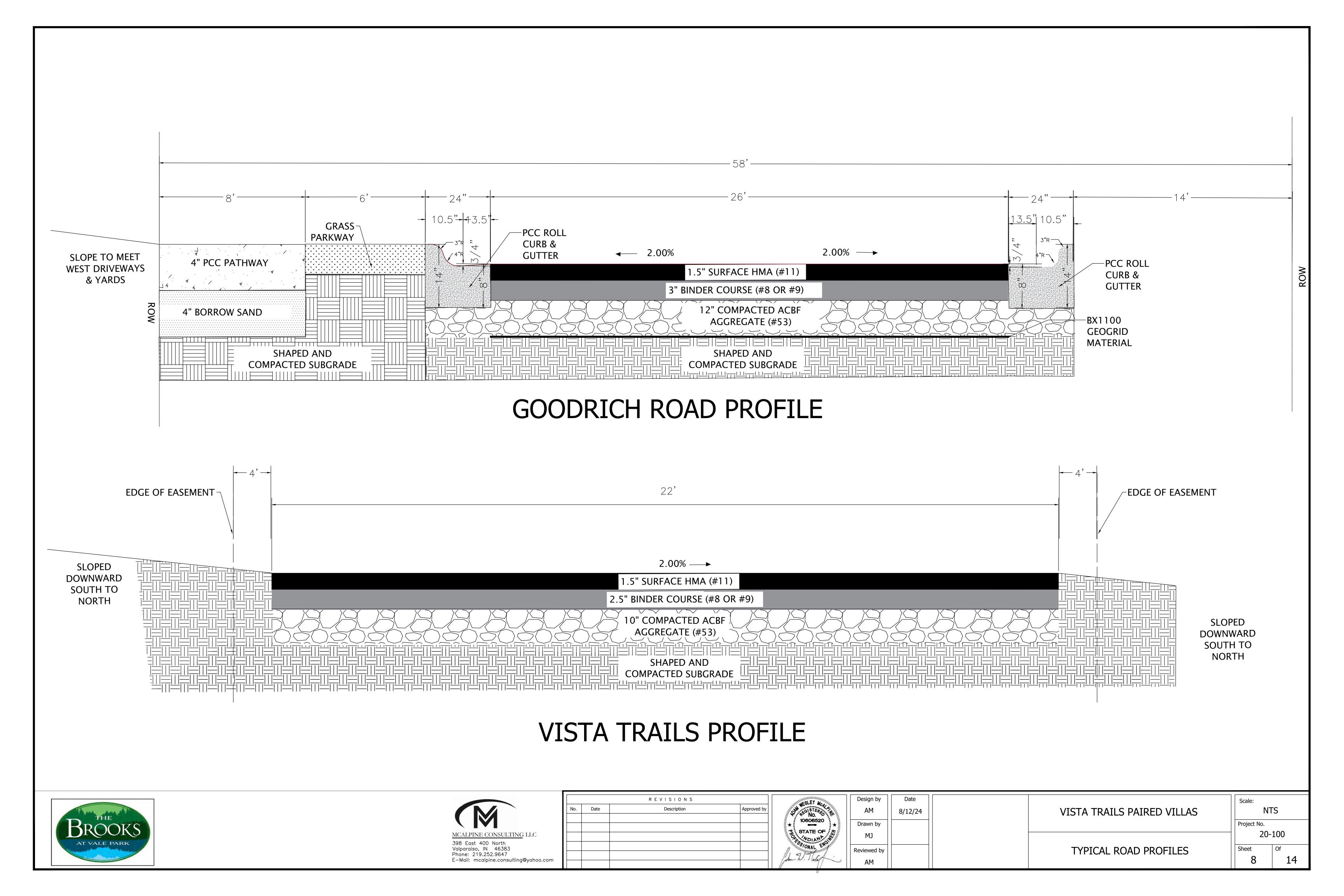


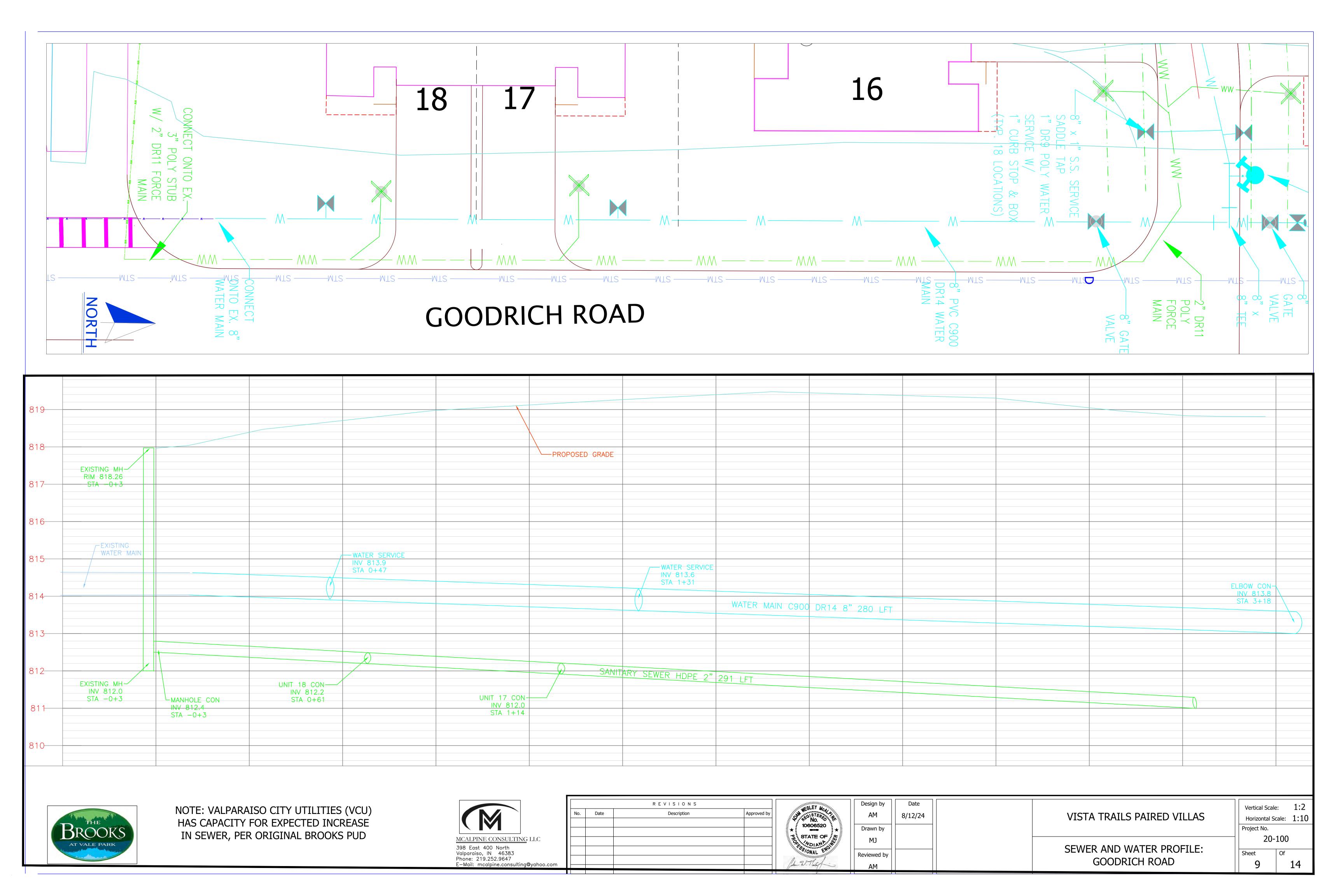
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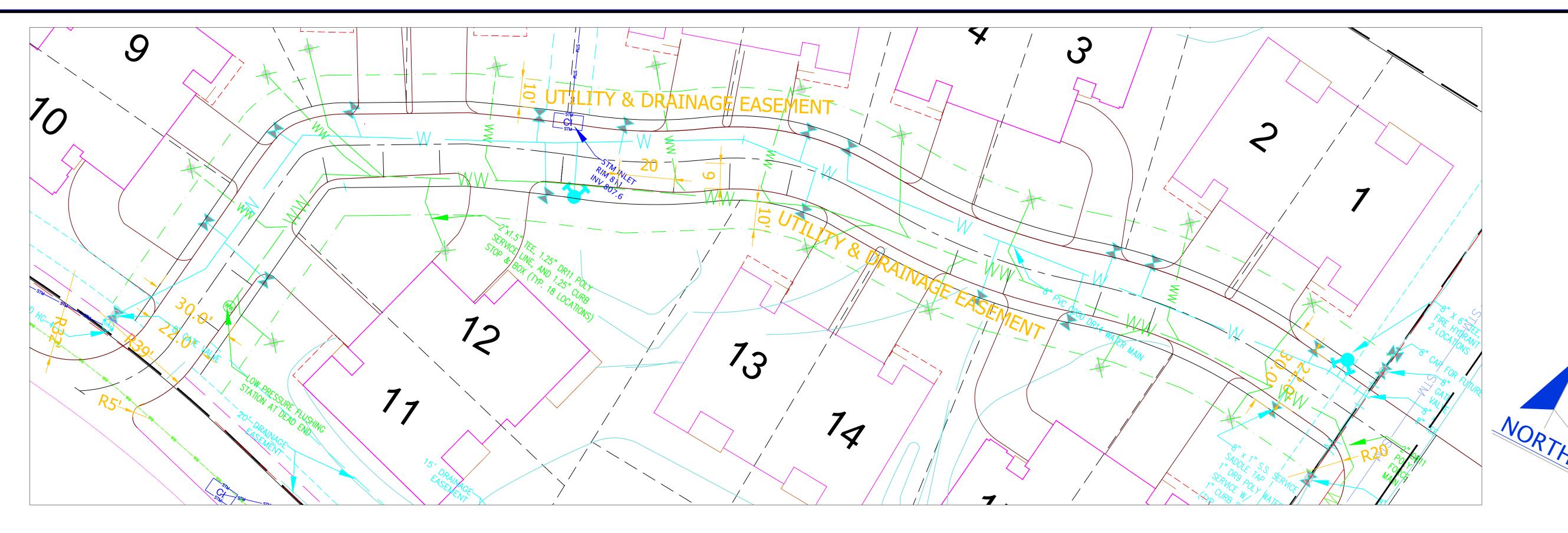
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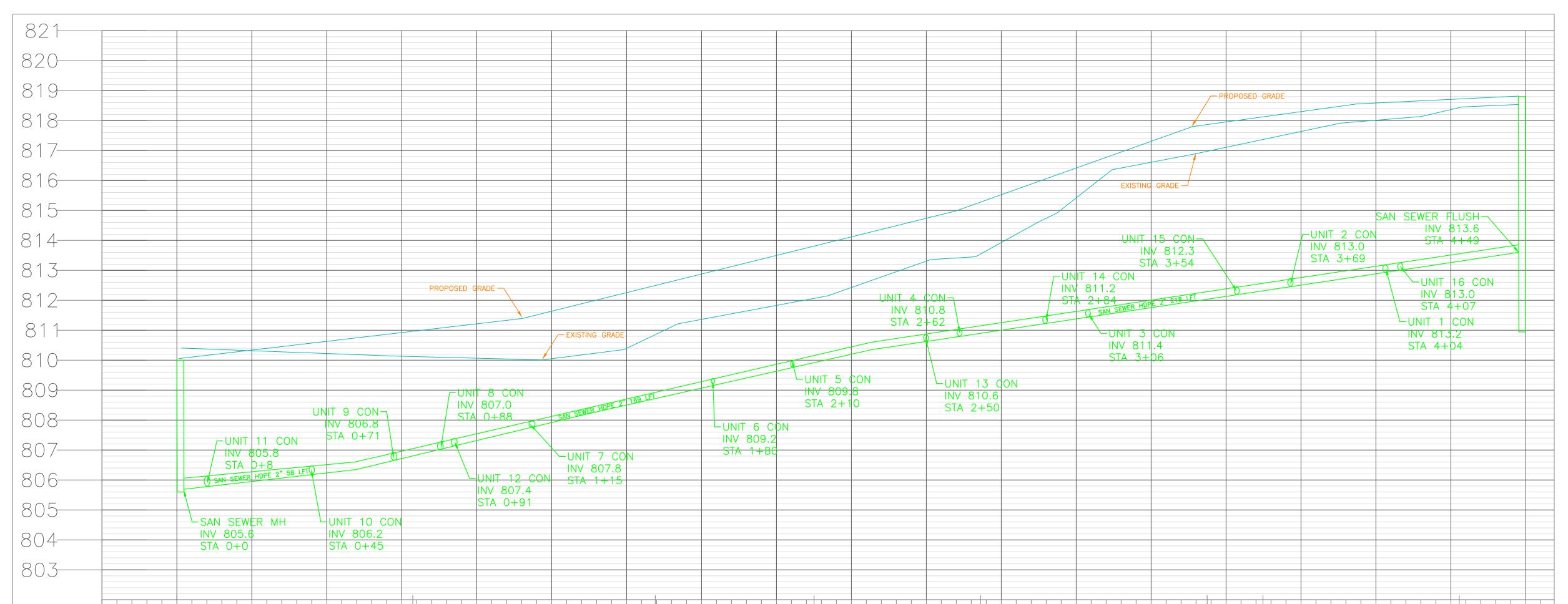
UTILITIES PLAN

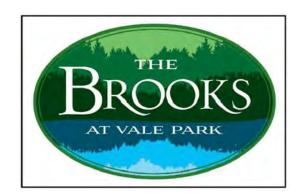
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NOTE: VALPARAISO CITY UTILITIES (VCU)
HAS CAPACITY FOR EXPECTED INCREASE
IN SEWER, PER ORIGINAL BROOKS PUD



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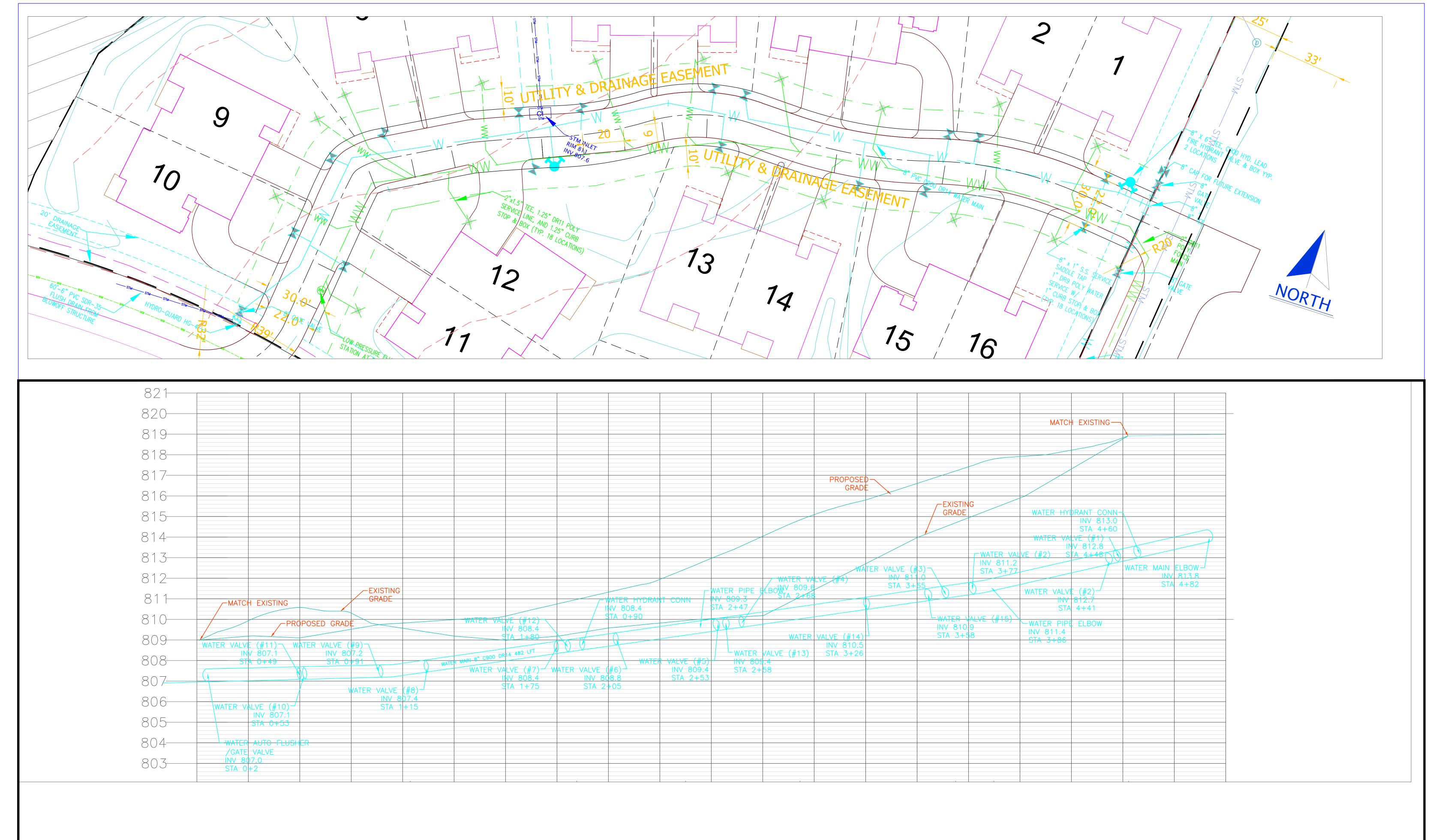


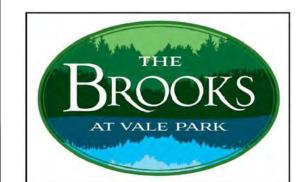
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SEWER PROFILE: VISTA TRAILS Vertical Scale: 1:2
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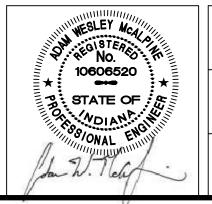
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WATER MAIN PROFILE: VISTA TRAILS

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#### GENERAL STORM WATER MANAGEMENT NOTES

Soil erosion and sedimentation control shall protect against loss of soil by the action of water, ice and wind.

Erosion control shall be in accordance with the City of Valparaiso Storm Water Ordinance & "The Indiana Storm Water Quality Manual".

There are two main elements for Storm Water Quality: Construction Site Stormwater Runoff Control and Post-Construction Stormwater Management. The contractor shall provide Construction Site Stormwater Runoff Control as required and construct the Post-Construction Stormwater Management features, as needed.

The contractor shall be responsible for maintaining site conditions such that Stormwater Runoff Control is provided throughout construction. Surface water runoff management, ie: temporary ditches, swales, bypass pumping, and erosion control measures shall be constructed and maintained as required by construction activity and these items are considered incidental to the contract. These items shall be included in the base

Upon the completion of the site work the contractor shall remove the Construction Site Stormwater Runoff Control measures and install any noted Post-Construction Stormwater Management measures.

Those Stormwater Runoff Control measures that will also serve in the Post-Construction Stormwater Management Plan shall have construction sediment removed and full functionality restored upon the completion of the Site construction.

Each Construction Site Stormwater Runoff Control measure shall be installed immediately following the construction of the structure or feature in which the measure is intended to protect.

The contractor is responsible for any damage and/or cleaning to the structure or feature. Corrective work incurred by the contractor shall be considered incidental to

The contractor is responsibile for compliance with the StormWater Pollution Prevention Plan (SWPPP). Any fines or punitive measures incurred by the project due to failure to comply with the SWPPP are the responsibility of the contractor. These costs shall be considered incidental to the contract, and shall not be considered an extra.

During the course of construction the SWPPP may require additional erosion control measures to be installed to address site specific items not anticipated by this plan due to construction schedule or sequencing. It is not the intent of this plan to direct the schedule or sequencing beyond the general construction sequence. Any stormwater runoff control measures required due to construction methodology, sequencing, etc. are incidental to the contract. Corrective work and maintenance shall also be considered incidental, and shall not be considered an extra.

All items shown on these detail sheets are standard details and describe standard installation practices. Not all of these Stormwater Runoff Control measures will be utilized. See the erosion control plan for location and types of erosion control measures utilized. The stormwater checklist document will serve to further outline the SWPPP for this project and it is considered part of the plan documents. In the event that site conditions require additional or different erosion control measures, these details serve to describe some acceptable methods.

#### SUMMARY OF BASIC PRINCIPLES

- 1. Keep disturbed area as small as possible.
- 2. Stabilize and/or protect disturbed areas as soon as possible. 3. Keep storm water runoff velocities low.
- 4. Retain sediment within immediate construction area.
- The purpose of this plan is to specify methods for construction site stormwater runoff control.

All soil erosion and sedimentation control devices shall be regularly maintained by the contractor through the duration of the project. Collected silt and sedimentation shall be removed as required to maintain the effectiveness of the silt traps or sedimentation control devices. The contractor shall replace filter materials which have become ineffective due to contamination or physical deterioration. The contractor shall inspect all stormwater runoff control devices weekly and after all storm events.

The contractor shall have a log of maintenance and inspections, to be available at the site upon request of Local and State Inspectors.

#### STORMWATER QUALITY CONSTRUCTION SEQUENCE

The sequence of when each measure will be implemented is summarized below.

- Silt fence must be installed prior to any construction.
- Initiate weekly Self-montoring program.
- Post the Rule 5 NOI with IDEM permit number and the Local Plan Approval Letter (NOS) at the entrance to the construction site.
- The construction entrance is to be constructed prior to construction. This can be placement of
- the stone drive, or the use of "mud mats". • Inlet protection as detailed on these plans is to be installed surrounding each inlet/drywell/catch
- basin until work is completed and protection has been approved for removal. • Temporary seeding shall be placed 14 days after grading is complete or if disturbed ground is
- intended to be left for a period of more than 14 days. • Stormwater outlet protection is to be constructed with completion of the storm sewer.
- Disturbed areas will be permanently seeded and mulched upon completion of project.
- Erosion control features shall be maintained until construction is complete.
- Any temporary erosion control measures are to be removed once permanent vegetative cover has been established.
- Rule 5 Notice of Termination shall be submitted.

#### GENERAL CONSTRUCTION SEQUENCE

- Contact the underground utility protection service.
- Post the IDEM Notice of Sufficiency on site in visible location.
- Construct stabilized construction entrance.
- Install silt fences around site perimeter.
- · Remove internal trees and stumps.
- Strip topsoil and stockpile on site with perimeter silt fence protection.
- Accomplish mass earth work on site to achieve grading plan.
- Initiate sewer, water, and storm sewer utility installation work.
- Place inlet protection at the ground surface upon completion of each drainage structure.
- Backfill the open trenches immediately following pipe and structure placement.
- Continue with grading to establish finish grade conditions, incorporating temporary seeding of
- Install topsoil around residential areas, permanent seeding and straw mulch.
- Remove temporary erosion control measures after areas are stabilized

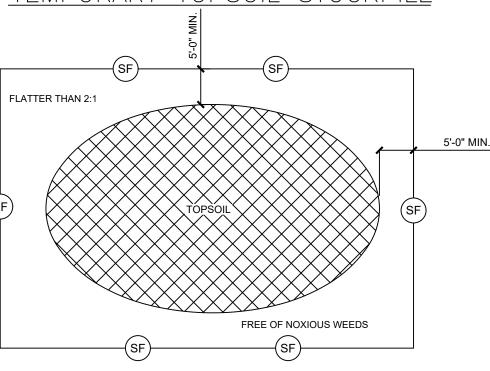
#### INLET PROTECTION

## FILTER FABRIC "Y" INLET PROTECTION CROSS SECTION BLOCK AND GRAVEL FILTER CURB INLET PROTECTION CROSS SECTION FILTER FABRIC DROP INLET PROTECTION CROSS SECTION TOP OF INLET BO BLOCK AND GRAVEL FILTER CURB INLET PROTECTION PLAN VIEW NOTES: 1., DO NOT INSTALL ON INIETS IN A PUBLIC STREET OR OTHER ACTIVE. TRAVEL LANE. BLOCK AND GRAVEL FILTER IS INTENDED FOR USE ON LOW POINT (SUMP) INLETS IN PARKING LOTS AND OTHER PAVEMENT THAT IS NOT AN ACTIVE TRAVEL LANE. THIS INLET PROTECTION METHOD ALLOWS FOR FULL USE OF THE INLET DESIGN CAPACITY. 2. INSTALL TRAVET COMES AS REGIGED TO MINIMIZE THE POTENTIAL FOR CARS HITTING THE Figure 3.10 Schematics of Filter Fabric Area Inlet Protection Figure 3.8 Schematics of Block and Gravel Filter Curb Inlet Protection Inlet Protection April 2010, Revised 9/2014

#### MM-1Concrete Washout Area (CWA) CONCRETE WASHOUT AREA PLAN 8 X 8 MIN. SECTION A CWA-1. CONCRETE WASHOUT AREA CWA INSTALLATION NOTES SEE PLAN VIEW FOR: CWA INSTALLATION LOCATION. 2. DO NOT LOCATE AN UNLINED CWA WITHIN 400° OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000° OF ANY WELLS OR DRINKING WATER SOURCES, IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERBABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN, THICKNESS) OR SURFACE SITEMACE ALTERNATUSE USING PREPABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE OROUND STORAGE ARE SHOULD BE USED. 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. 4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP. 5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'. 6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS. 8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION. Urban Drainage and Flood Control Distric Urban Storm Drainage Criteria Manual Volume 3

CONCRETE WASHOUT

TEMPORARY TOPSOIL STOCKPILE



KEEP STORAGE AREA FREE OF STUMPS ROCK AND CONSTRUCTION DEBRIS

#### TOPSOIL STOCKPILE

- INSTALLATION:
  1. SCRAPE TOPSOIL WITHIN CONSTRUCTION LIMITS WITH MECHANICAL EQUIPMENT PLACING IN
- 2. SURROUND STOCKPILE WITH SILT FENCE TO PROTECT SURROUNDING AREAS FROM
- 3. COVER STOCKPILE WITH TEMPORARY COVER GRASS AS NECESSARY TO REDUCE WIND

<u>WAINTENANCE:</u> 1. INSPECT PERIMETER SILT FENCE WEEKLY AND AFTER 0.5 INCH OR GREATER STORM EVENT.

- 2. IF FENCE TEARS, BEGINS TO DECOMPOSE, AND/OR BECOMES INEFFECTIVE, REPLACE AFFECTED AREA PER INSTALLATION INSTRUCTIONS.
- 3. REMOVE DEPOSITED TOPSOIL SEDIMENT BACK ONTO STOCKPILE WHEN FENCE IS DISPLACED OR BEGINS TO BULGE AND/OR WHEN SEDIMENT REACHES 1/2 THE HEIGHT OF
- 4. AVOID UNDERMINING SILT FENCE DURING CLEAN OUT OF SEDIMENT BUILDUP.
- 5. AFTER TOPSOIL HAS BEEN REPLACED ONTO PROJECT SITE AND AREA HAS BEEN STABILIZED, REMOVE SILT FENCE AND SEDIMENT DEPOSITS, BRING DISTURBED AREA TO

## MATERIAL MANAGEMENT MEASURES (HOUSEKEEPING) SPILL PREVENTION AND CONTROL PLAN

• Only approved fuel storage tank shall be allowed on site.

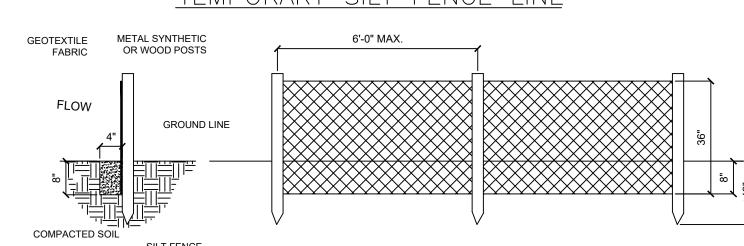
FINISHED GRADE AND STABILIZE AS REQUIRED

- Spill Kits must be located on-site in the vicinity of the fuel storage sink
- Mobile Fueling shall be used when possible.
- Fueling should take place in a central location
- Equipment should be kept in good working order, well maintained so that breakdowns, and equipment failures are reduced.

#### FUEL STORAGE

- All fuel tanks on site shall have secondary containment approved by IDEM.
- No fuel tanks are to be located within 100 feet of a storm sewer inlet.
- Fuel storage system shall be kept in good working order and shall be subject to periodic IDEM
- Spill Kits must be located on-site in the vicinity of the fuel storage sink.
- Fuel tanks shall have a safety guage.

#### TEMPORARY SILT FENCE LINE



- INSTALL FENCE IN LOCATIONS SHOWN ON PLAN PER MANUFACTURER'S SPECIFICATIONS AND IN DETAIL.
- 2. BURY BOTTOM OF FABRIC MIN. 8" DEPTH WITH COMPACTED BACKFILL AS SHOWN IN DETAIL.
- MAIN I ENANCE:

  1. INSPECT SILT FENCING WEEKLY AND AFTER EACH 0.5" OR GREATER STORM EVENT.
- 2. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, AND/OR BECOMES INEFFECTIVE, REPLACE AFFECTED AREA PER
- 3. REMOVE DEPOSITED SEDIMENT WHEN FABRIC BEGINS TO BULGE AND/OR WHEN SEDIMENT REACHES 1/2 THE HEIGHT
- 4. AVOID UNDERMINING SILT FENCE DURING CLEAN OUT OF SEDIMENT BUILDUP.
- 5. AFTER WATERSHED AREA HAS BEEN STABILIZED, REMOVE SILT FENCE AND SEDIMENT DEPOSITS, BRING DISTURBED AREA TO FINISHED GRADE AND STABILIZE AS REQUIRED

#### TEMPORARY AND PERMANENT SEEDING

- 1. These installation practices are needed to control erosion, sedimentation, and water runoff, such as temporary and permanent diversions, sediment traps or basins, silt fences, and triangular silt dikes.
- 2. Grade the site as specified in the construction plan.
- SEEDBED PREPARATION 1. Fertilize as required.
- 2. Work the fertilizer into the soil 2-4 in. deep with a disk or rake operated across the slope.

- 1. Select a seeding mixture and rate from the table and plant at depth and on dates shown. 2. Apply seed uniformly with a drill or cultipacker-seeder or by broadcasting, and cover to the depth shown.
- 3. If drilling or broadcasting, firm the seedbed with a roller or cultipacker.

#### 4. Mulch seeded areas to increase seeding success. MAINTENANCE

- 1. Inspect periodically after planting to see that vegetative stands are adequately established, re-seed if necessary.
- 2. Check for erosion damage after storm events and repair, reseed and mulch if necessary. 3 Topdress fall seeded wheat or rye seeding with 50 lbs./acre of nitrogen in February or March if nitrogen deficiency is apparent.

#### TEMPORARY SEEDING RECOMMENDATIONS

SEED SPECIES*	RATE/ACRE	PLANTING DEPTH	OPTIMUM DATES*
Wheat or rye	150 lbs.	1 to 1 1/2 in.	9/15 to 10/30
Spring oats	100 lbs.	1 in.	3/1 to 4/15
Annual ryegrass	40 lbs.	1/4 in.	3/1 to 5/1 8/1 to 9/1
German millet	40 lbs.	1 to 2 in.	5/1 to 6/1
Sudangrass	35 lbs.	1 to 2 in.	5/1 to 7/30

- \* Perennial species may be used as a temporary cover, especially if the area
- to be seeded will remain idle for more than a year. \*\* Seeding done outside the optimum dates increases the chance of seeding failure

#### PERMANENT SEEDING RECOMMENDATIONS

- This table provides several seeding options. Additional seed species and mixtures are available commercially. When selecting a mixture, consider site conditions, including soil properties (e.g., soil
- pH and drainage), slope aspect and the tolerance of each species to shade and drought. SEED SPECIES AND MIXTURES RATE/ACRE OPTIMUM SOIL pH
- OPEN AND DISTURBED AREAS (REMAINING IDLE FOR MORE THAN ONE YEAR.
- Perennial ryegrass 35-50 lbs. 5.6 to 7.0
- + white or ladino clover 1 to 2 lbs.
- 5.5 to 7.5
- 20 lbs. Kentucky bluegrass 10 lbs. + smooth bromegrass
- 3 lbs. + switchgrass 4 lbs. + timothy
- + perennial ryegrass 10 lbs. + white or ladino clover 1 to 2 lbs.

#### TEMPORARY CONSTRUCTION ENTRANCE/EXIT PAD

water table to provide greater bearing strength.

- MATERIAL: 2-3 in. washed stone (INDOT CA No. 2) over a stable foundation.
- THICKNESS: 12 in. minimum. 20 ft. minimum or full width of entrance/exit roadway, whichever is greater
- LENGTH: 50 ft. minimum

#### GEOTEXTILE FABRIC UNDERLINER: May be used under wet conditions or for soils within a high seasonal

- 1. Avoid locating on steep slopes or at curves in public roads.
- Remove all vegetation and other objectionable material from the foundation area, and grade and crown for positive drainage.
- 3. If slope towards the road exceeds 2%, construct a 6-8 in. high water bar (ridge) with 3:1 side slopes across the foundation area about 15 ft. from the entrance to divert runoff away from the
- road (Practice 3.24) see exhibit. 4. Install pipe under the pad if needed to maintain proper public road drainage.
- 5. If wet conditions are anticipated, place geotextile fabric on the graded foundation to improve
- 6. Place stone to dimensions and grade shown in the erosion/sediment control plan, leaving the surface smooth and sloped for drainage.

#### 7. Divert all surface runoff and drainage from the stone pad to a sediment trap or basin.

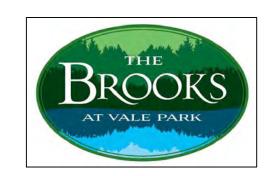
- 1. Inspect entrance pad and sediment disposal area weekly and after storm events or heavy use.
- Reshape pad as needed for drainage and runoff control.

designated on the site development plans.

- Topdress with clean stone as needed. 4. Immediately remove mud and sediment tracked or washed onto public roads by brushing or
- sweeping. Flushing should only be used if the water is conveyed into a sediment trap or basin. Repair any broken road pavement immediately.

### POTENTIAL CONSTRUCTION POLLUTANT SOURCES

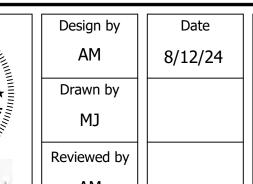
- Potential pollutants that could enter the stormwater during construction include exposed soils, fuel and oil from leaking heavy equipment and vehicles. Equipment has the potential to leak fuel throughout the disturbed areas, or wherever construction is occurring. The contractors will inspect equipment before initiating construction and routinely thereafter. If leaks are discovered, they will be repaired before the
- equipment is used or new equipment will be brought to the site. Bulk Fuel storage on-site can leak and thereby be a pollutant. All Fuel storage tanks shall meet the
- minimum requirements of the Fuel Storage requirements. Exposed soils also have potential for being eroded by water and wind and must be prevented from entering the stormwater system. The contractor will install silt fence, riprap, and seeding in areas





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VISTA TRAILS PAIRED VILLAS

**EROSION CONTROL DETAILS** & NOTES

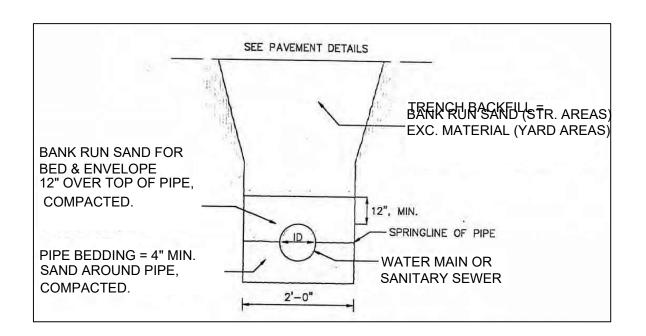
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#### SANITARY SEWER CONSTRUCTION NOTES

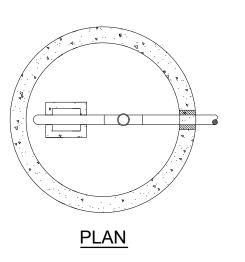
- 1. ALL PLASTIC PIPE WILL BE INSTALLED WITH CONTINUOUS TRACER TAPE INSTALLED 24 INCHES (2 FEET) ABOVE THE PIPE. THE MARKER TAPE WILL BE MARKED "SEWER" AND BE PLASTIC, NON-BIODEGRADABLE METAL CORE OR BACKING THAT CAN BE DETECTED BY A STANDARD METAL DETECTOR. TAPE WILL BE TERRA TAPE "D" OR APPROVED EQUAL. IN ADDITION TO TRACER TAPE, INSTALL 14-GAUGE COATED COPPER WIRE WRAPPED AROUND THE PIPE, BROUGHT UP AND TIED OFF AT THE VALVE BOXES. TONING WIRE SPLICES AND CONNECTIONS TO ANODES WILL JOIN WIRES BOTH MECHANICALLY AND ELECTRICALLY AND EMPLOY RESIN OR HEAT SHRINK TAPE INSULATION.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF THE WORK AND BRING ANY DISCREPANCIES TO THE ATTENTION OF MARBACH-PALM, INC.
- 4. CONTRACTOR SHALL CONFIRM ALL MATERIAL SPECIFICATIONS AND TESTING REQUIREMENTS WITH THE CITY OF VALPARAISO UTILITIES PRIOR TO ORDERING AND INSTALLATION.
- 5. IF GROUND WATER IS ENCOUNTERED DURING THE SEWER OR WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL USE A FILTER BAG ON ANY DEWATERING DISCHARGE TO RETAIN SEDIMENT.
- 5. SANITARY AND STORM SEWER SEPARATION REQUIREMENTS WITH RESPECT WATER MAINS ARE AS FOLLOWS:
- 5.1. A MINIMUM HORIZONTAL SEPARATION OF TEN FEET SHALL BE MAINTAINED BETWEEN ALL SANITARY SEWER AND STORM SEWER SYSTEMS AND WATER MAIN LOCATIONS.
- 5.2. A MINIMUM VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED WHEN SANITARY SEWER OR STORM SEWER CROSS UNDER WATER LINES (MEASURED FROM THE BOTTOM OF THE WATER LINE TO THE TOP OF THE SEWER).
- 5.3. IF EITHER THE HORIZONTAL OR VERTICAL SEPARATION CANNOT BE MET, THE SEWER SHALL BE CONSTRUCTED OF WATERWORKS GRADE MECHANICAL JOINT DUCTILE IRON PIPE OR ASTM D2241-96b SDR 21 PVC PRESSURE PIPE WITH COMPRESSION FITTINGS, AND SHALL BE
- PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.

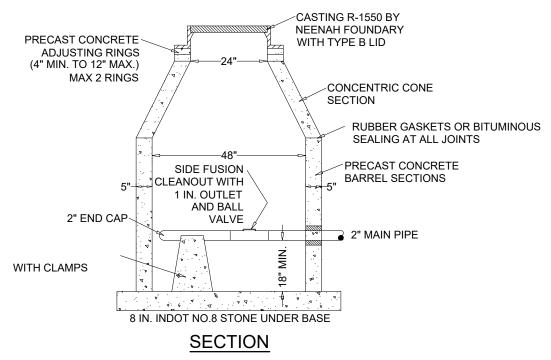
  5.4. THE SEWER SHALL BE CONSTRUCTED SO THAT THE WATERWORKS GRADE PIPE EXTENDS A DISTANCE OF TEN FEET ON EACH SIDE OF THE WATER MAIN, AND SHALL BE CONSTRUCTED WITH ONE FULL LENGTH OF PIPE CENTERED ON THE WATER MAIN SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN
- 5.5. THE SANITARY SEWER AND WATER MAIN MUST BE LAID ON SEPARATE TRENCH SHELVES.5.6. ALL SEPARATION REQUIREMENTS BOTH HORIZONTAL AND VERTICALLY SHALL BE IN
- ACCORDANCE 327 IAC 3.

  6. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL REQUIRED INSPECTIONS BY THE
- CITY OF VALPARAISO AND FOR PROVIDING NECESSARY "AS-BUILTS" AND TESTING RESULTS.
  7. CONTRACTOR SHALL PROVIDE MARBACH-PALM, INC. WITH (1) SET OF "AS-BUILTS" ALONG WITH ALL TEST RESULTS.
- 8. ALL WORK SHALL BE PERFORMED TO THE REQUIREMENTS OF THE CITY OF VALPARAISO UTILITY REPRESENTATIVE.
- 9. THE DEVELOPER SHALL FLUSH THE SANITARY SEWER SYSTEM MONTHLY IN DEVELOPING AREAS UNTIL THE LOW PRESSURE SEWER SYSTEM HAS ADEQUATE OPERATING PRESSURE TO BE FULLY FUNCTIONAL. THE CITY UTILITY DEPT. SHALL DETERMINE WHEN THE DEVELOPER MAY END MONTHLY FLUSHING ACTIVITY.



TYPICAL TRENCH DETAIL NOT TO SCALE

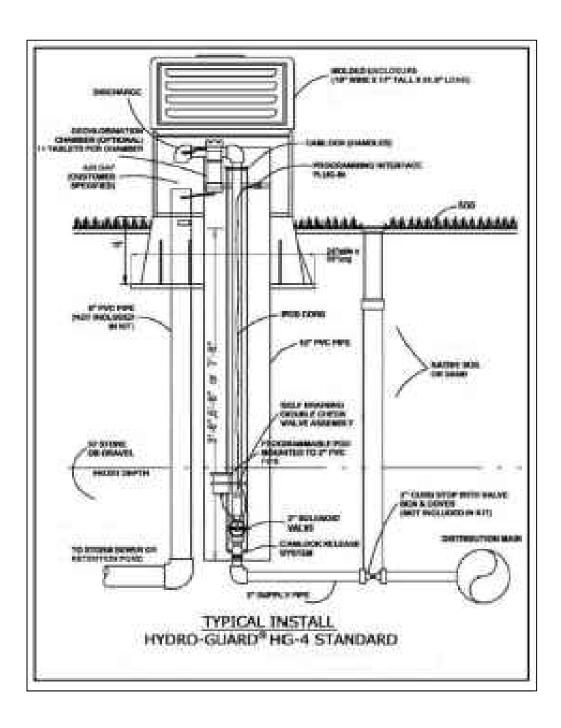




LOW PRESSURE SEWER FLUSHING STATION AT DEAD END

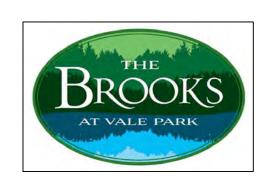
NOTE: ALL FLUSHING STATIONS, ISOLATION VALVES AND AIR RELEASE VALVES TO BE INSTALLED INSIDE 4 FT. DIAM CONCRETE MANHOLES AS SHOWN HERE.

## SANITARY SEWER FORCE MAIN MANHOLES NOT TO SCALE



## AUTOMATIC WATER MAIN FLUSHING AND SAMPLING STATION DETAIL NOT TO SCALE

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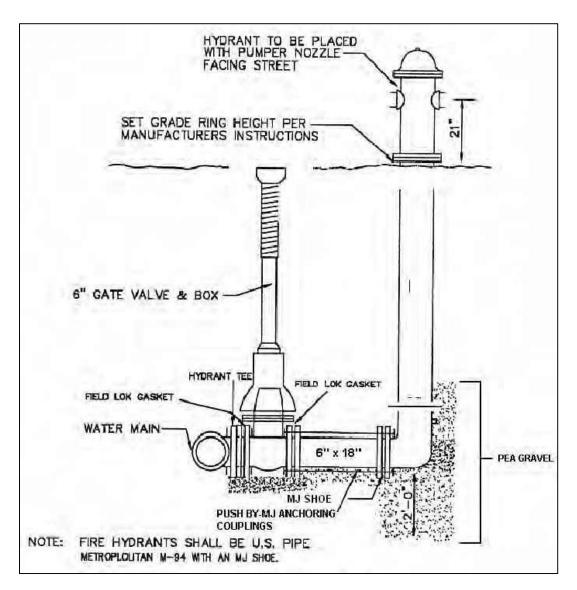
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**CONSTRUCTION DETAILS 1** 

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TO PREVENT FREEZING OF THE HYDRANT BARREL IF IT WERE NOT DRAINED, A DRAINAGE PIT 2' X 2' X 2' SHALL BE EXCAVATED BELOW THE HYDRANT AND FILLED WITH COURSE GRAVEL OR CRUSHED STONE MIXED WITH SAND TO A DEPTH OF 6" ABOVE THE HYDRANT OPENING, PROVIDING SUFFICIENT AGGREGATE VOID SPACE TO MORE THAN EQUAL THE VOLUME OF THE BARREL. THE DRAINAGE PIT SHOULD NEITHER BE NEAR, NOR HAVE A CONNECTION TO, A SEWER.

#### HYDRANT DETAIL NOT TO SCALE

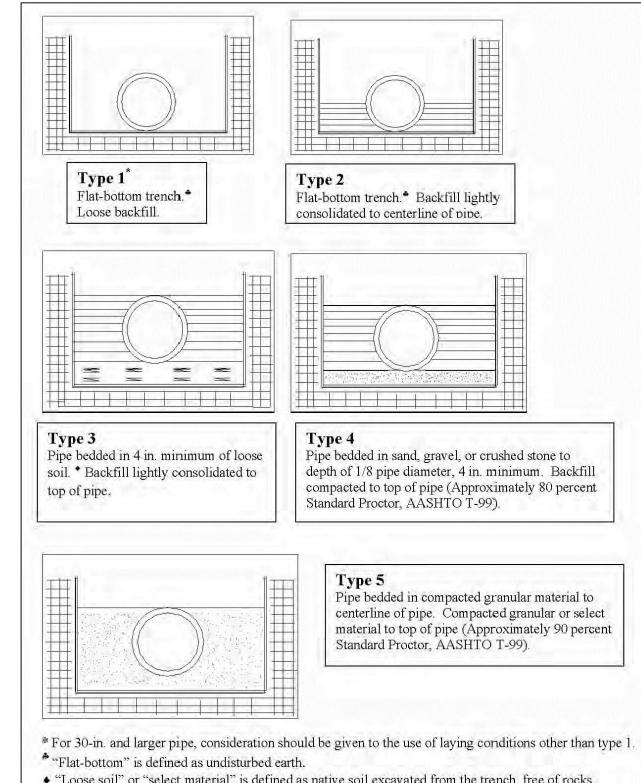
#### WATER MAIN CONSTRUCTION NOTES

- WATER MAIN SHALL BE LAID WITH A MINIMUM COVER OF 5'-0".
- NEW WATER MAIN SHALL BE PRESSURE TESTED, LEAKAGE TESTED, AND DISINFECTED IN ACCORDANCE WITH THE VALPARAISO CITY UTILITIES REQUIREMENTS. TESTING PROCEDURE SHALL BE AS PRESCRIBED BY AWWA STANDARD C600 AND DISINFECTION BY AWWA STANDARD C601.
- SHALL BE USED 6" BELOW THE PIPE TO THE BOTTOM OF THE PIPE. 4. HORIZONTAL AND VERTICAL DEFLECTION IS NOT PERMITTED. APPROPRIATE BENDS AND FITTINGS

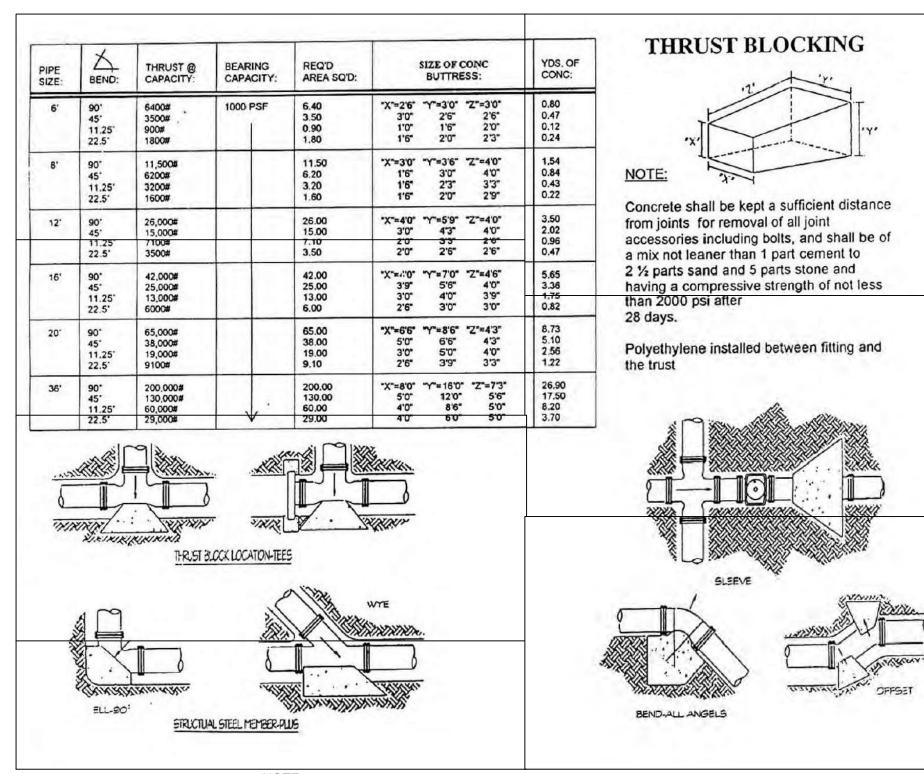
3. WATER MAIN TO BE DUCTILE IRON PIPE CLASS 50. COMPACTED 3/4 INCH GRANULAR FILL MATERIAL

- SHALL BE USED TO OBTAIN ANY CURVATURE.
- 5. SANITARY AND STORM SEWER SEPARATION REQUIREMENTS WITH RESPECT WATER MAINS ARE AS
- FOLLOWS: 5.1. A MINIMUM HORIZONTAL SEPARATION OF TEN FEET SHALL BE MAINTAINED BETWEEN ALL SANITARY SEWER AND STORM SEWER SYSTEMS AND WATER MAIN LOCATIONS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED WHEN SANITARY SEWER OR STORM SEWER CROSS UNDER WATER LINES (MEASURED FROM THE BOTTOM OF THE WATER LINE TO THE TOP OF THE SEWER).
- 5.3. IF EITHER THE HORIZONTAL OR VERTICAL SEPARATION CANNOT BE MET, THE SEWER SHALL BE CONSTRUCTED OF WATERWORKS GRADE MECHANICAL JOINT DUCTILE IRON PIPE OR ASTM D2241-96B SDR 21 PVC PRESSURE PIPE WITH COMPRESSION FITTINGS, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- THE SEWER SHALL BE CONSTRUCTED SO THAT THE WATERWORKS GRADE PIPE EXTENDS A DISTANCE OF TEN FEET ON EACH SIDE OF THE WATER MAIN, AND SHALL BE CONSTRUCTED WITH ONE FULL LENGTH OF PIPE CENTERED ON THE WATER MAIN SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN
- THE SANITARY SEWER AND WATER MAIN MUST BE LAID ON SEPARATE TRENCH SHELVES. ALL SEPARATION REQUIREMENTS BOTH HORIZONTAL AND VERTICALLY SHALL BE IN ACCORDANCE
- 327 IAC 3. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL REQUIRED INSPECTIONS BY THE CITY
- OF VALPARAISO AND FOR PROVIDING NECESSARY "AS-BUILTS" AND TESTING RESULTS. CONTRACTOR SHALL PROVIDE MARBACH-PALM, INC. WITH (1) SET OF "AS-BUILTS" ALONG WITH ALL
- TEST RESULTS. ADDITIONAL CLEANOUTS ARE TO BE INSTALLED IF SANITARY SEWER SERVICE LINES ARE OVER 100
- FEET. 9. JOINTS: ALL JOINTS ON PVC SEWER PIPE SHALL BE INTEGRAL BELL TYPE GASKETED JOINT DESIGNED SO THAT WHEN ASSEMBLED THE ELASTOMERIC GASKET INSIDE THE BELL IS COMPRESSED RADICALLY
- ON THE PIPE SPIGOT TO FORM A POSITIVE SEAL. THE JOINT SHALL BE SO DESIGNED TO AVOID DISPLACEMENT OF THE GASKET WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE JOINT SHALL COMPLY WITH THE PHYSICAL REQUIREMENTS OF ASTM D3212, AND THE GASKET SHALL BE THE ONLY ELEMENT DEPENDED UPON TO MAKE THE JOINT FLEXIBLE AND WATERTIGHT.
- 10.ALL PIPE WILL BE INSTALLED WITH CONTINUOUS TRACER TAPE INSTALLED 24 INCHES (2 FEET) ABOVE THE PIPE. THE MARKER TAPE WILL BE MARKED "SEWER" AND BE PLASTIC, NON-BIODEGRADABLE METAL CORE OR BACKING THAT CAN BE DETECTED BY A STANDARD METAL DETECTOR. TAPE WILL BE TERRA TAPE "D" OR APPROVED EQUAL. IN ADDITION TO TRACER TAPE, INSTALL 14-GAUGE COATED COPPER WIRE WRAPPED AROUND THE PIPE, BROUGHT UP AND TIED OFF AT THE VALVE BOXES. A 1 POUND MAGNESIUM ANODE WILL BE BURIED WITH THE SEWER LINE EVERY 1000 LINEAR FEET FOR CATHODIC PROTECTION OF THE WIRE. TONING WIRE SPLICES AND CONNECTIONS TO ANODES WILL JOIN WIRES BOTH MECHANICALLY AND ELECTRICALLY AND EMPLOY RESIN OR HEAT SHRINK TAPE
- 11.ALL WORK SHALL BE PERFORMED TO THE REQUIREMENTS OF THE CITY OF VALPARAISO UTILITY REPRESENTATIVE.

AT VALE PARK

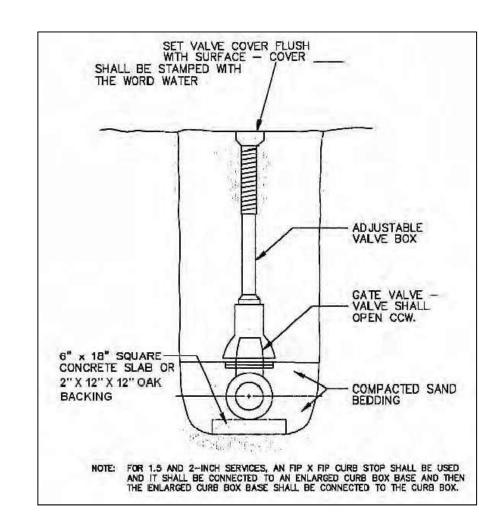


 "Loose soil" or "select material" is defined as native soil excavated from the trench, free of rocks, foreign materials, and frozen earth

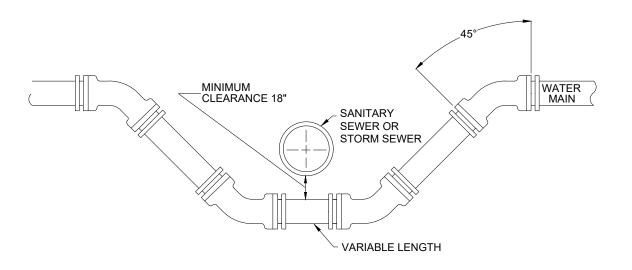


CONTRACTOR TO LOCATE END OF TAP (SERVICE BOX)

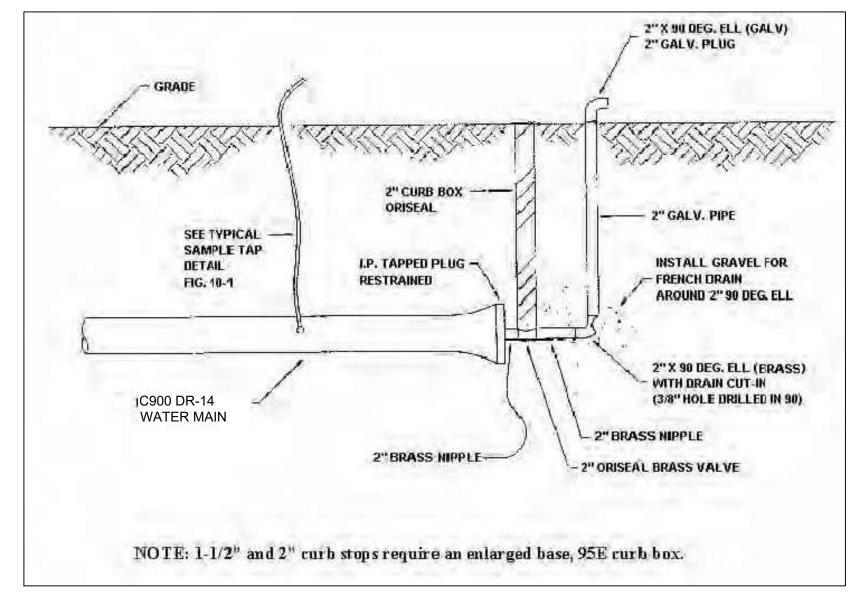
#### PIPE LAYING CONDITIONS NOT TO SCALE



VALVE/CURB BOX DETAIL NOT TO SCALE

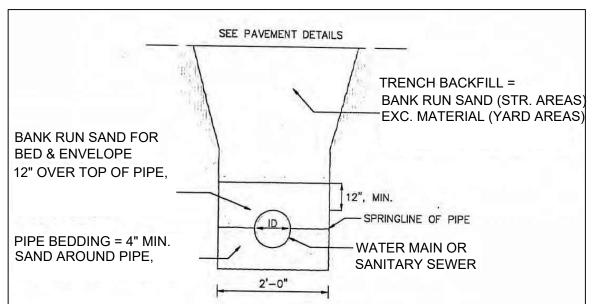


WATER MAIN DEFLECTION DETAIL NOT TO SCALE



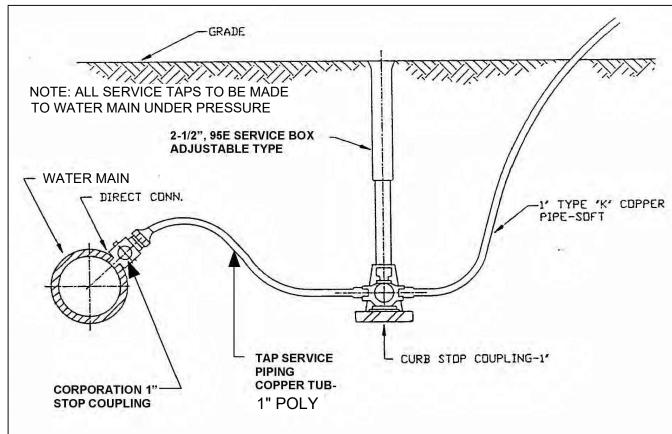
#### TEMPORARY FLUSH-OUT INSTALLATION DETAIL

NOT TO SCALE



TYPICAL TRENCH DETAIL NOT TO SCALE

#### WITH TAP LOCATION STAKE (2" x 4" - PAINTED BLUE)



TYPICAL 1" TYPE "K" COPPER PIPE SAMPLE TAP DETAIL NOT TO SCALE



	M
$\underline{\mathbf{N}}$	ICALPINE CONSULTING LLC
V	98 East 400 North alparaiso, IN 46383 hone: 219.252.9647

	REVISIONS				
		Date	Description	Approved by	
MCALPINE CONSULTING LLC					
398 East 400 North Valparaiso, IN 46383					
Phone: 219.252.9647 E—Mail: mcalpine.consulting@yahoo.com					
L-man. mearpine.consulting@yanoo.com		·			

WESLEY MCANNO. 10606520	٠,
STATE OF	III FEB

Design by	Date	
AM	8/12/24	
Drawn by		
MJ		
Reviewed by		

VISTA TRAILS PAIRED VILLAS

CONSTRUCTION DETAILS 2

Scale: NTS Project No. 20-100 Of Sheet

# The Brooks: Vista Trails, Valparaiso, IN

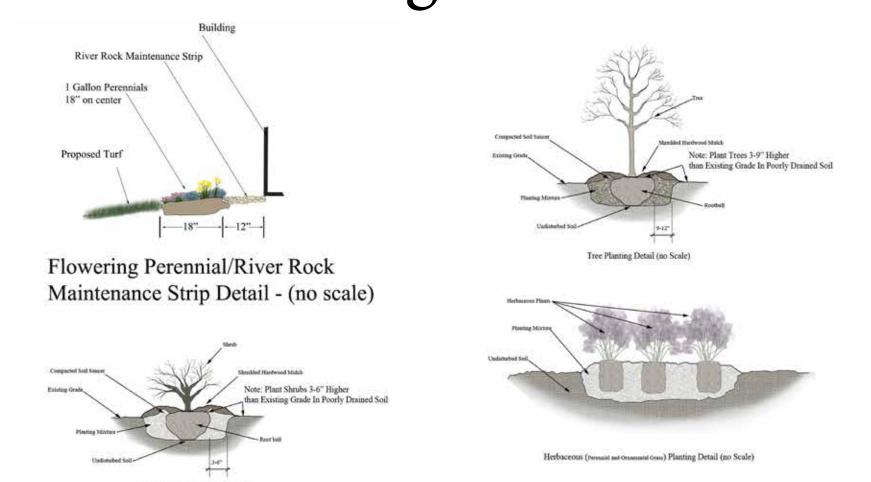
## Landscape Plan



# Ordinance Requirements

ullic	111V		$\mathbf{X}\mathbf{C}\mathbf{Q}$	uII	C11
Brooks Landscape Ca	alculations:	Vista Trails			
Street Bufferyards					
Road	LF	Large Trees	Small Trees	Shrubs	
Vale Park	416	4	8	71	
Provided		4	8	71+	
Street Bufferyards					
Road	LF	Large Trees	Small Trees	Shrubs	
Goodrich	199.5	2	4	34	
Provided		2	4	34+	
Street Trees					
		Approx.			
Road	LF	Street Trees			
Vista Trails	250	6.25	7 each side	14	
Goodrich	199.5	5			
TOTAL	450	19			
Provided		19			
Open Space Estimate	e using UR	Zone			
	Acres	Large Trees	Small Trees	Shrubs	
Total	0.22	2	3	15	
Duaridad			2	1.5	

# Planting Details



## Plant Schedule

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		QTY
TREES							
		STREET TREES					21
	ACE	Acer x freemanii 'Jeffersred' TM	Autumn Blaze Freeman Maple	2.5" Cal.	B&B		
	CEL	Celtis occidentalis	Common Hackberry	2.5" Cal.	B&B		
	GLE GYM	Gleditsia triacanthos Gymnocladus dioica 'Espresso'	Honey Locust Kentucky Coffeetree	2.5" Cal.	B&B		
	NYS	Nyssa sylvatica	Black Gum	2.5" Cal. 2.5" Cal.	B&B B&B		
	QBC	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B		
	QCC	Quercus coccinea	Scarlet Oak	2.5" Cal.	B&B		
	QUI	Quercus imbricaria	Shingle Oak	2.5" Cal.	B&B		
	QMC	Quercus macrocarpa	Burr Oak	2.5" Cal.	B&B		
	QMB	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	B&B		
	TLA TCO	Tilia americana Tilia cordata	American Linden Littleleaf Linden	2.5" Cal. 2.5" Cal.	B&B B&B		
	ULM	Ulmus americana	American Elm	2.5" Cal. 2.5" Cal.	B&B		
	02	omas amonsana	7 1110110411 21111	2.0 041.			
		UNDERSTORY TREES					15
	AAM	Amelanchier x grandiflora `Autumn Brilliance`	Autumn Brilliance Apple Serviceberry	4-8'	B&B		
	CAR	Carpinus caroliniana	American Hornbeam	4-8'	B&B		
	CCM	Cercis canadensis	Eastern Redbud Multi-trunk Cornelian Cherry	4-8' 4-8'	B&B B&B		
	CMS HMV	Cornus mas Hamamelis vernalis	Ozark Witchhazel	4-6 3-5'	B&B		
	VBN	Viburnum lentago	Nannyberry	3-5'	B&B		
	VIBL	Viburnum prunifolium	Blackhaw Viburnum	3-5'	B&B		
	VRH	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Lantanaphyllum Viburnum	3-5'	B&B		
		SHADE TREES					9
	ACE	Acer x freemanii 'Jeffersred' TM	Autumn Blaze Freeman Maple	2.5" Cal.	B&B		
	CAT	Catalpa speciosa	Northern Catalpa	2.5" Cal.	B&B		
	CLO	Celtis occidentalis	Common Hackberry	2.5" Cal.	B&B		
	GLE	Gleditsia triacanthos	Honey Locust	2.5" Cal.	B&B		
	NY2	Nyssa sylvatica	Black Gum	4-8'	B&B		
	QUI QMC	Quercus imbricaria Quercus macrocarpa	Shingle Oak Burr Oak	2.5" Cal. 2.5" Cal.	B&B B&B		
	QMB	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	B&B		
	QUE	Quercus rubra	Red Oak	2.5" Cal.	B&B		
	TLA	Tilia americana	American Linden	2.5" Cal.	B&B		
	TCO	Tilia cordata	Littleleaf Linden	2.5" Cal.	B&B		
	ULM	Ulmus americana	American Elm	2.5" Cal.	B&B		
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	<u>QTY</u>
SHRUB AR	REAS						
		BUFFERYARD SHRUBS					452 sf
	SCA3	Sambucus canadensis	Elderberry	5 gal.	Pot	72" o.c.	14
	ARO AB2	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	5 gal.	Pot	72" o.c.	14
	ARO MLN	Aronia melanocarpa	Black Chokeberry	5 gal.	Pot	72" o.c.	14
	COR GR2 COR RE6	Cornus racemosa Cornus sericea	Gray Dogwood Red Twig Dogwood	5 gal. 5 gal.	Pot Pot	72" o.c. 72" o.c.	14 14
	ILE WI4	llex verticillata	Winterberry	5 gal. 5 gal.	Pot	72" o.c.	14
	VIB MUF	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	5 gal.	Pot	72" o.c.	14
	VIB LEN	Viburnum lentago	Nannyberry	5 gal.	Pot	72" o.c.	14
	VIB RHY	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Lantanaphyllum Viburnum	5 gal.	Pot	72" o.c.	14
	HAM	Hamamelis virginiana	Witch Hazel	5 gal.	Pot	72" o.c.	14
		OPEN SPACE SHRUBS					191 sf
	AR1	Aronia melanocarpa	Low Scape Hedger Black Chokeberry	3 gal.	Pot	17% @ 36" o.c.	3
	IVS2	Itea virginica	Virginia Sweetspire	3 gal.	Pot	17% @ 36" o.c.	3
	VDA2	Viburnum dentatum `Arrowwood`	Arrowwood Viburnum Brilliant Red Chokeberry	3 gal. 5 gal.	Pot	16% @ 48" o.c. 16% @ 48" o.c.	3 3
	ARO AB2 ILE WI4	Aronia arbutifolia 'Brilliantissima' llex verticillata	Winterberry	5 gal. 5 gal.	Pot Pot	17% @ 48" o.c.	3
	VIB RHY	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Lantanaphyllum Viburnum	5 gal.	Pot	17% @ 48" o.c.	3
		<del>_</del>					

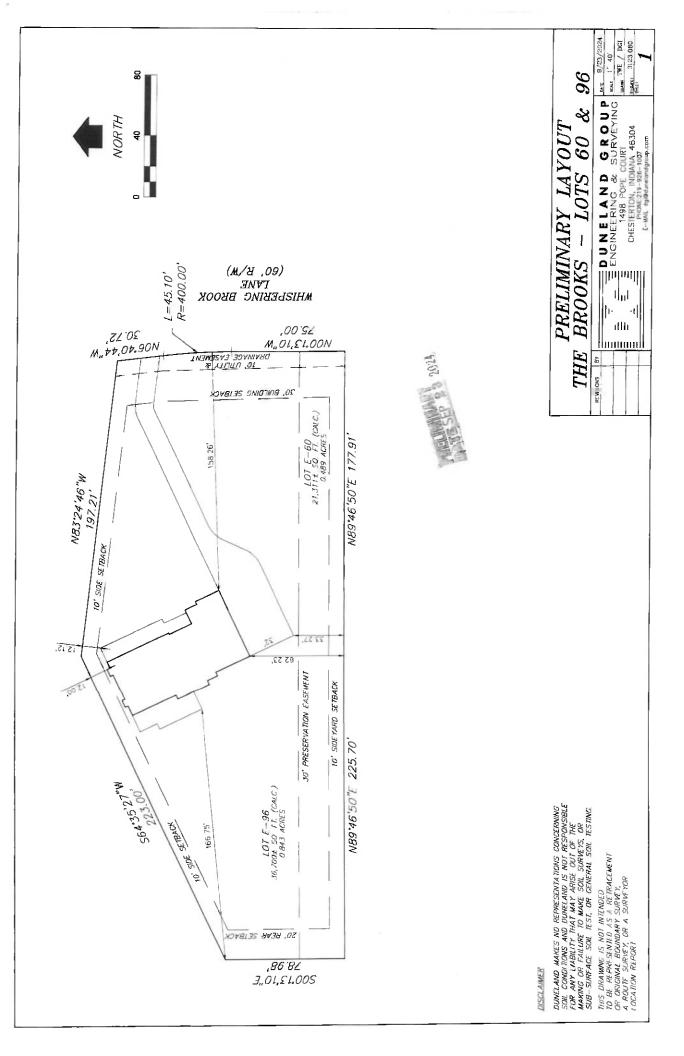
NOTE: Plant availability subject to nursery stock inventory. Appropriate substitution will be applied in the event that these plants are unavailable.



#### PETITION TO VALPARAISO PLAN COMMISSION

This application is being submitted for (Check all that ap	oply):
□ To Rezone a Property from	Petition #: Application Filing Fee:  Date Filed:/ SEP 2/4 2324  Meeting:/  Clerk-Transura:
SUBJECT PROPERTY INFORMATION	TYPE OR PRINT IN INK
Property Address:  2701/2703 OLD OK BEIVE  Description of Location of Property:  LOTS E-60 = E96	Subject Property fronts on the WEST side between (streets) MUNCHESTER DRIVE  WINDING BROOK DRIVE  Zoning District (Current): PUD  Zoning District (Proposed): PUD
Parcel/Tax Duplicate Number(s):	North: PUD South: SP
EGO 64-09-11-377-065,000-004 EGG 64-09-11-353-001,000-004	Present Use of Property:  VACANT / SINGLE FAMILY  PELIDENTIAL Lote
Subdivision (If Applicable):  THE BOSSES PUB  EVALE PARK, PURSE 2  Dimensions of Property: Front: 78 <sup>th</sup> Depth: 403 <sup>th</sup> Property Area (sq. ft./acres): 1.332 <sup>th</sup> Arres	Proposed Use of Property:  CINGLE FAMILY RESIDENTIAL

PETITIONER INFORMATION	
Applicant Name: The Books LLND, UC	Address: FERNOREN Law OFFICES, LC
40 WILLIAM FERNOREN, ECO	570 Vous Pape Rons
Phone: 219-721-0155	SUITE &
Email: bill & ferngrenlaw. com	Varpieniso, IN 46235
	46335
PROPERTY OWNER INFORMATION	
Applicant Name: SAME AS ABOVE	445h.Ls4.
	keneger as to Lot E96
Phone:	THE BROOKS LAND, LLC 15 to Lot E60
Email:	THE BHOOKS LAND, LLC AS 10 LOT LEGO
LEGAL DESCRIPTION OF SUBJECT PROPERTY: (EXHIBIT NO	
LOT EGO AND LOT EGG II	1 THE BROOKS AT VALE PARK
PHICE 2, NG PER PLAT	THEREOF, RECORDED IN THE
areice of the PECSED	FR OF PORTEE COUNTY, WOULD.
24136	
PROPOSED VARIANCES OR WAIVERS: (EXHIBIT NO.	)
PROPOSED LEGAL DESCRIPTION	i Lec
LOT E60/E96 COME	UED



ALL OWNERS OF RECORD OF THE ABOVE-REFERENCED PROPERTY MUST SIGN THE PETITION FOR PUBLIC HEARING. The owner(s), by signing this Petition for Public Hearing, represent to the City of Valparaiso — Plan Commission, that he/she/it has the necessary legal authority to request action to be taken on the above-referenced property. If the name of the Petitioner is different from the property owner, the Plan Commission shall accept the requests and representations of the Petitioner and the property owner shall be bound by such requests and representations via the Attached Affidavit of Consent of Property Owner.

Signature of owner/Petitioner Date

Printed name

Subscribed and sworn to before me this 24th day of September, 2024

Notary Public

SARA CAMP
Notary Public, State of Indiana
Porter County
Commission # 696187
My Commission Expires
February 01, 2025

My Commission Expires: Feb. 1, 2025

ALL OWNERS OF RECORD OF THE ABOVE-REFERENCED PROPERTY MUST SIGN THE PETITION FOR PUBLIC HEARING. The owner(s), by signing this Petition for Public Hearing, represent to the City of Valparaiso – Plan Commission, that he/she/it has the necessary legal authority to request action to be taken on the above-referenced property. If the name of the Petitioner is different from the property owner, the Plan Commission shall accept the requests and representations of the Petitioner and the property owner shall be bound by such requests and representations via the Attached Affidavit of Consent of Property Owner.

Brooks (md ((C)

Signature of owner/Petitioner

Brooks Londece

Date

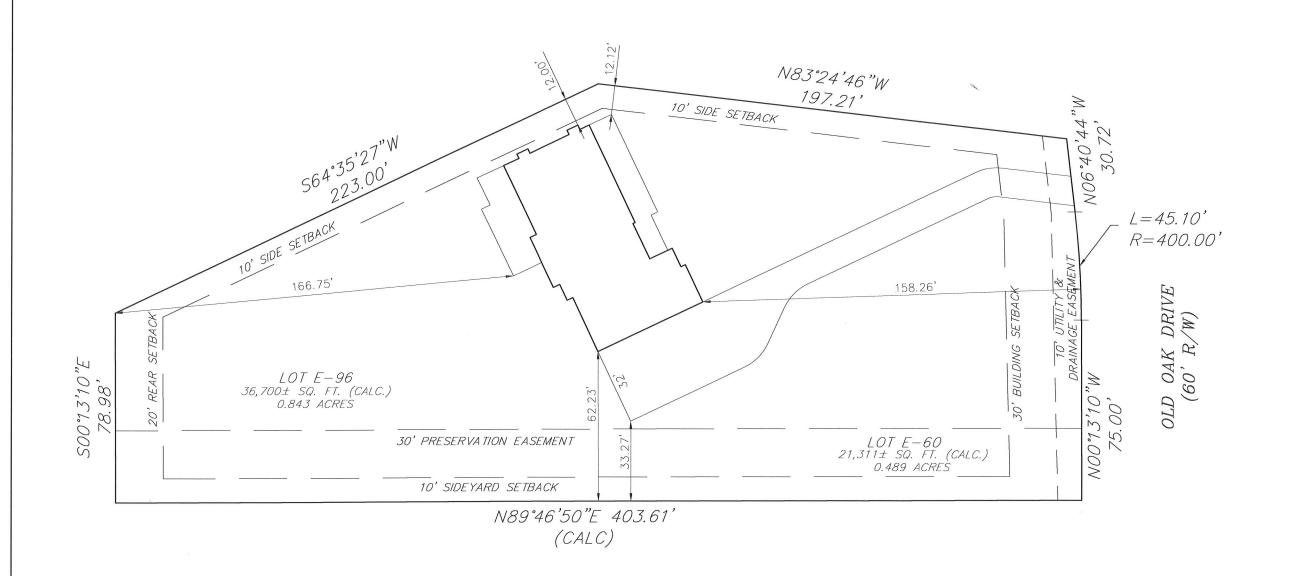
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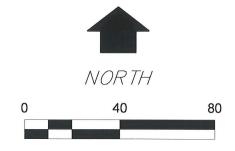
Subscribed and sworn to before me this 24th day of September, 2024

Notary Public

SARA CAMP
Notary Public, State of Indiana
Porter County
Commission # 696187
My Commission Expires
February 01, 2025

My Commission Expires: Feb. 1, 2025





#### **DISCLAIMER**

DUNELAND MAKES NO REPRESENTATIONS CONCERNING SOIL CONDITIONS AND DUNELAND IS NOT RESPONSIBLE FOR ANY LIABILITY THAT MAY ARISE OUT OF THE MAKING OR FAILURE TO MAKE SOIL SURVEYS, OR SUB-SURFACE SOIL TEST, OR GENERAL SOIL TESTING.

THIS DRAWING IS NOT INTENDED

TO BE REPRESENTED AS A RETRACEMENT
OR ORIGINAL BOUNDARY SURVEY,
A ROUTE SURVEY, OR A SURVEYOR
LOCATION REPORT.

ADDRESS: 2701 OLD OAK DRIVE, VALPARAISO, IN 46385



## PRELIMINARY LAYOUT THE BROOKS - LOTS 60 & 96

REVISIONS	BY	l															
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DATE 9/25/2024

SCALE 1"-40"

DRAWN TWE / DGI

PROJECT 3123.060

SHEET