



CITY OF VALPARAISO

166 Lincolnway
Valparaiso, IN 46383
(219) 462-1161
[Valpo.us](http://valpo.us)

MEETING AGENDA

Valparaiso Plan Commission
Tuesday, October 1, 2024, 5:30 PM
Valparaiso City Hall – Council Chambers

1. Pledge of Allegiance
2. Roll Call
3. Adoption of Meeting Minutes – September 3, 2024
4. Old Business

PUDA23-001, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks a second amendment to the Alternate Plan for Vista Trails and to amend certain corner lot setbacks within The Brooks at Vale Park. *Public hearing for this matter was held on September 3, 2024.*

PP24-003 and SSP23-002, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks primary and secondary development plan approval of Vista Trails within The Brooks at Vale Park. *Public hearing for this matter was held on September 3, 2024.*

5. New Business

RP24-001, a petition filed by Tom and Nicole Krueger on behalf of The Brooks Land LLC c/o William Ferngren, 570 Vale Park Road, Suite B, Valparaiso, IN 46384. The petitioner seeks to combine Lot E60 and Lot E96 in the Brooks at Vale Park Phase 2, as per plat thereof, recorded in the office of the recorder of Porter County, Indiana. *No public hearing is required.*

6. Staff Items
7. Adjournment

Matt Evans, President
Beth Shrader, Planning Director

Next Meeting: **Tuesday, November 5, 2024**

Interested persons can view public meetings live on the City of Valparaiso website, www.valpo.us or participate in the webinar by visiting bit.ly/ValpoPC2024. Requests for alternate formats please contact Planning Department at planningdepartment@valpo.us or (219) 462-1161.

**MINUTES OF THE MEETING
OF THE PLAN COMMISSION
VALPARAISO, INDIANA
September 3, 2024**

The Plan Commission of the City of Valparaiso, Indiana, met on Tuesday, September 3, 2024 at 5:30 p.m. in City Hall. Matt Evans called the meeting to order. The Pledge of Allegiance was said. Present were Diane Worstell, Sarah Litke, Vic Ritter, Tim Warner, Clay Patton, Ellen Kapitan, Max Rehlander, and Matt Evans. Harris Peterson was absent.

MINUTES

July 2, 2024 minutes were presented for approval.

Motion: Sarah Litke moved to approve the July 2, 2024 minutes as presented. Diane Worstell seconded the motion. Upon voice vote, the motion passed with an 8-0 vote.

Roll Call Vote:

Diane Worstell – Yes
Harris Peterson – Absent
Sarah Litke – Yes
Vic Ritter – Yes
Tim Warner – Yes

Matt Evans – Yes
Clay Patton – Yes
Ellen Kapitan – Yes
Max Rehlander – Yes

Old Business - None

New Business

These three cases overlap. They will be read separately but will be presented together.

PUDA23-001, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks a second amendment to the Alternate Plan for Vista Trails and to amend certain corner lot setbacks within The Brooks at Vale Park. A **public hearing** will be held.

PP24-003 and SSP23-002, a petition filed by Todd Leeth, Leeth Law LLC on behalf of The Brooks Land LLC, 2700 Valparaiso St, Valparaiso, IN 46384. The petitioner seeks primary and secondary development plan approval of Vista Trails within The Brooks at Vale Park. A **public hearing** will be held.

Attorney Todd Leeth presented. He is joined by Adam McAlpine of McAlpine Consulting. There is the Vista Trails project within The Brooks. That has the primary and secondary development plans. He also wants to talk about the alternate plan for Vista Trails. And then four separate lots that are in the traditional home portion of the development.

Vista Trails is a town home/duplex development on the north side of Vale Park. There are four lots as well. They are all located within The Brooks PUD. That is the zoning. It was adopted by the City Council with the Plan Commission's recommendation.

Vista Trails is a 3.454 acre parcel located at the eastern edge of The Brooks on the north side of Vale Park Road. Originally it was a multi-family PUD. It was intended to have triplex buildings in the area and is smaller in orientation. In November of 2022 he amended the PUD to enlarge the area to its current orientation. Now it is 3.454 acres. He had a concept plan at that time showing 18 duplex homes. He showed a rendering of the concept plan. You can see Vale Park on the South end and a private drive coming in to service each of the homes. Each of the homes was a duplex. The purpose was to make each of them a single-family home owning the underlying land. That was done for financing purpose. This is zero lot lines between those lots and that was the plan that was part of the alternative plan that was approved by the Commission in 2022. Today he is coming in to amend the conceptual site plan once again and to modify corner lot setbacks for those specifically in the traditional home subdistrict of the single-family homes within the PUD. He showed the new concept plan for Vista Trails 3.4 acre parcel. This looks very similar to what they had in 2022. The difference is Mr. McAlpine has engineered this concept plan and it is dimensioned and there is a private road that runs through and connects to Vale Park. The earlier plan had a loop and did not connect to Vale Park. This gives better emergency access.

The second part of the Vista Trail amendment has to do with corner lots. Corner Lots are lots that have two front yards. In the City's Ordinance they are referred to as street yards which is essentially the same setback for front yards. That gives the ability for the builder and homeowner to orient the home to face two different streets. When The Brooks was laid out in that single family area the corner lots were not oversized as they usually are. These corner lots our builder tells us have been problematic. They came to the Plan Department and asked for seven lots to have the side yard setback reduced to 7'. They have settled on four lots and 20'. This is a 10' reduction on these four individual lots. In the amendment it is Lot 5, 30, 7 and 57. If they face the roads listed in the amendment, the side yard could be 20'. Those are the requests for the amendment to the PUD. Four corner lots and changing the concept plan for Vista Trails.

The next part of the request has to do with the primary development plan and the secondary development plan for Vista Trails. Just those 18 homes. He has submitted a very detailed engineering plan that is the primary development plan. This has gone through all of the site reviews and staff reviews from the Engineering Department, traffic concerns, and storm water. A Development Plan is like a subdivision primary plat. It is called a development plan because it is part of a PUD and has all of the details required by that. It is governed by the subdivision and the zoning ordinance or the PUD. They also have a set of restrictive covenants that will apply only to this part. This is a simulated condominium. It is maintenance free living. They did everything they could to make it feel like a condominium in those covenants. There are the same use restrictions. The same protections on property values. But the homeowners are operating under a Homeowners Association, very much like a condominium would.

The next part of the Development Plan process is Secondary Development Plan. This is a Plan with much less detail. It is more like a survey. This is what gets recorded. Until this is approved, signed and recorded Lots 1, 9 and 18 do not exist. Once this is recorded they can sell those lots and they can build on the lots and there is a community. The secondary Development Plan is identical to the Primary Development Plan. The Primary is engineered. The Secondary is surveyed.

Public Hearing

Steve Emmert –2705 Old Oak Drive in The Brooks. Visually the four lots – what do the setbacks look like. Are they going closer to the street?

Seeing no one else wishing to address the Board, Matt Evans declared the Public Hearing closed.

Beth Shrader – She received an email from Andrew and Cheryl Crosmer:

Attention: Beth Shrader Planning Director

From: Andrew and Cheryl Crosmer

1153 Vale Park Rd.

Telephone 219-680-9836

We are unable to make the public hearing on September 3 at 5:30 PM at Valparaiso City Hall. We are concerned about the alternate plan regarding the reconfiguring of the lot lines in the secondary development plan for Vista trails.

Based upon exhibit A that we were provided with to our notice, it appears that lots 17 and 18 will be located off of Goodrich Road. It was represented to us over and over again that Goodrich Road would not become a thoroughfare between Vail Park Road and ransom Road. It appears that based on the alternate plan that Goodrich Road will go through to Vale Park Road. We believe it will not be long before the property immediately to the east of Goodrich Road will also be using the new Goodrich Road edition to facilitate additional building lots which would be located immediately across from our home.

We do not understand why units on the Brooks plan need to have driveways or accessibility to Goodrich Road. Allowing one driveway seems to open the door for several others in the future. We are not in favor and strongly discourage the alternate plan that would allow homes or driveways to be located off Goodrich Road between Vale Park and Ransom Road.

Thank you for your attention.

Very truly yours,

Andy and Cheryl Crosmer

Rebuttal from Petitioner

Todd Leeth – They would come off Winding Brook. That is the short side. If they face Old Oak Drive the side yard could be as little as 20'.

Staff Comments

Beth Shrader – What was intended to be conveyed in the Plan is there is only a setback reduction along the frontage that is adjacent to the commonly owned drainageway. If Lot 57 faces Winding Brook Road, the setback reduction would be on Old Oak. Typically, the lot will be deeper than it is wide. It is addressed off Winding Brook that is where the front yard is. Old Oak is where the set back is. Along the west side is a 20' side yard instead of 30'. It has been typical in our City for secondary plats that there will be two addresses listed on corner lots. The house can decide which way to face. Not all communities do it this way. Some decide which front yard makes the most sense and addresses it accordingly. That is what they are doing for these four lots. They are choosing the direction that makes the most sense, having it in the amendment. They pick the front yard and then the street side yard is the one that gets the reduction. That was the intent of what was conveyed in the changes. In this section of the Brooks all front yards are 30'. In this case it is 20' in the street side yard and 30' in the front yard. It is a reduction of 10'.

Clay Patton – If the house is facing theirs the front yard is 30' and the side yard on Winding Brook is 20'. If the house is facing Winding Brook ...

Beth Shrader - That is not what was intended. We are picking the front yard with this amendment. There is no more option to face either street. The front yard will be on Winding Brook and the street side yard will be on Old Oak. You can't have a lot that shallow. What they are losing in flexibility in choosing which way the house faces on the lot, they are gaining 10' of buildable area.

Clay Patton – Is that the Petitioner's request to make these choices for the future owners of the lots?

Todd Leeth – He believes that is exactly the case because the orientation and size of the lots do not fit the corners.

Clay Patton – The Emmerts should know any house across the street from them will be facing Winding Brook and the side yard is going to be 20'. Is that correct?

Mike Grannis with Havyen Home – For 80% of the homes in this area they don't fit on these four lots the way it is set up right now. The long side is where the 20' will be. He likes calling out where the front yard will be. It makes sense.

Todd Leeth – The language he uses in the Amendment does not use the word choosing a front yard. But he likes that. His recommendation with the Commission's approval, is to allow him to tweak the language that they are choosing the front yard, specify what it is for each of those four lots subject to approval of staff and their attorney.

Matt Evans – Does Beth Shrader or Todd Leeth want to comment further on Lot 5?

A Representative of Crusader Homes - His recommendation is Lot 5 should have the same front yard as Lot 4.

Beth Shrader – To be clear, Lot 5 is to face Whispering Brook Lane which is the road to the north so it will retain the same front yard setback as Lot 4. That is part of what was discussed with the developer. The whole point of setbacks being consistent is so homes do not get hidden behind others. If they want to pull back from the setback they can, but your neighbor cannot decide to hide your home. The only reason Staff found this acceptable to come before the Plan Commission is it was reduced to just these four lots that are adjacent to a wooded drainage yard that will be open space that provides a buffer between the 30' setback and 20' setback.

Tim Werner – Lot 57 is across from Lot 37 are directly across the street from each other. He is confused why 57 says Winding Brook Drive and 37 says Winding Brook Lane. When those two streets merge what is it?

Beth Shrader – The two that are adjacent to each other on the northern half of this, they are addressed off the same road. On the south side they are separated by a lot and there are two different roads.

Todd Leeth – He believes that chart is correct.

Beth Shrader – She believes so too.

Tim Werner – Is there a house on Lot 55?

Beth Shrader – That is a different road all together. If it is not included in this Amendment, then it will be a 30' setback from both street setbacks.

Todd Leeth – The front yard face needs to be clarified in the Amendment to say this is the front yard face and then we reduce the other side yard. Then we list that in the table for clarity. It is his recommendation to allow him to clarify the table in the amendment with the approval of staff and their attorney.

As to Goodrich, it was originally intended to go south off Ransom and connect to Vale Park. Then it wasn't. Then in the future. So they dedicated in The Brooks a right of way for that and that right of way actually came through the original part of Vista Trails. They re-located that when they did the amendment to the plan in 2022 to show Goodrich going north and south. There are no driveways off Goodrich in the Plan. There is a private road that all of the 18 lots will empty out to and then come down to Vale Park. But there are no individual driveways except for 17 and 18.

Beth Shrader – Goodrich is identified in the Comprehensive Master Plan's Throughfare Plan as a future connection. It is something the City is pursuing. It will be a collector in status. Vale Park Road is an arterial which has expected higher traffic than a collector. There are more restrictions on access to arterials than there are collectors. A collector may have driveways on to it. There are restrictions as to the spacing between driveways and other road standards but it is permissible to have driveways off a collector road.

Max Rehlander – North of Ransom on Goodrich there are houses on the east side of the road that face Goodrich.

Beth Shrader – There are three petitions here. There is the Amendment to Vista Trails. In the PUD Ordinance it allows the submission of Primary and Secondary plans at the same time. That is what the Petitioner is pursuing. They have been working for many months on this. It was submitted in November of 2023. There have been improvements to it. The documents have come a long way. It has been deemed by staff that it is ready to be considered by the Plan Commission. The process is to have a Public Hearing at one meeting. Then take the next 30 days to consider what they have heard. Then at the October Plan Commission meeting they will be eligible to make a decision.

Questions/Comments from the Board

Ellen Kapitan – On the corner lots, what pre-empted the change?

Todd Leeth – Trying to build a home that the homeowners are requesting on a lot that is pinched because instead of a 10' side yard it has a 30' side yard. It makes the lot a lot smaller.

Ellen Kapitan – She has trouble with The Brooks. It is supposed to be for nature, wetlands and forests. As we start taking away from this, she feels the intention of this PUD is being lost.

Todd Leeth - Not a single portion of the common area or wetland area is being reduced. We are just allowing for 10' more of buildable area. This is a very well planned conservation area. His client is a developer and within that they are trying to meet market demands. Homeowners want conservation. They want tree lots, seclusion and privacy. That is a market driven issue. The request tonight is market driven also.

Matt Evans – Does it change lot coverage at all?

Todd Leeth – They did not ask for any change in lot coverage standard. There will be more coverage but they are not going over the standard.

Mike Grannis with Havyen Home – The only homes that will fit on these four lots are the ones that are being built in The Bluffs. These four lots will have to have a smaller footprint to get them to fit. Now it will be a lower price point. Which will be the same price point as The Bluffs.

Some of the home owners in Silver Oak will not be happy with the lower price homes going on those four lots just to make them fit.

Diane Worstell - When we make a motion can we make it with all the items in one motion or do we have to separate them?

Beth Shrader – She recommends separating them. Just to be clear, the recommended motion will be to carry over to the next meeting.

Ellen Kapitan – Her question is the cul-de-sac and the one way. Where did this adjustment come from? Is that a market driven decision?

Todd Leeth – They requested the cul-de-sac or the loop at the end of the private drive. There were some geometry issues with the turning radius of service trucks. There were issues with public safety with regard to the Fire Department. The through street as now shown was vetted with the City Engineering Department to provide those issues with an alternative they deemed safe.

Max Rehlander – We worked with multiple departments. We determined this to be more beneficial to all parties to have a through street rather than a cul-de-sac.

Ellen Kapitan – There are cul-de-sacs throughout the City. What happens to all of them?

Max Rehlander – There are multiple one-ways throughout the City as well. It was a matter of geometry to get a cul-de-sac to fit in this situation just did not work out.

Beth Shrader – The City standards would have a cul-de-sac have a radius of 60'. In this area they decided what was better access for the Fire and other services was a through street.

Matt Evans – In the past they have talked about the difficulty of snowplowing and parking in cul-de-sacs.

Ellen Kapitan – Who is the clientele for the town homes?

Todd Leeth – They had always thought these types of homes would be senior/empty nesters. But they are finding it is the other side of the life cycle as well. It is new families with no kids. The market has learned the demographics are that young families are delaying or deferring having kids.

Ellen Kapitan – Will there be street parking on the one way?

Todd Leeth – Street parking will be provided throughout the development.

Beth Shrader – We do not have a specific number of spots that meet the standards for distance from driveways. There are some number of spots on the south side of the road. The north side would have to be signed No Parking.

Ellen Kapitan – From having lived on a One-Way street it has its own troubles too. A cul-de-sac seemed like a nice addition where you have multiple types of homes. She is curious when Mr. and Mrs. Crosmer were told Goodrich would not connect.

Beth Shrader – Depending on leadership there has been more or less interest in pursuing the Goodrich extension. She knows Max and she have never represented that it would never happen.

Sarah Litke – A previous amendment already showed those driveways there in 2022? So the Plan Commission would have to tell them there are no driveways on Goodrich.

Clay Patton – He has some questions about when it does become a through street. He feels it will become a very congested interchange with Vale Park, Goodrich and Whispering Brook Lane. He travels this area daily. You have to get quite a bit ahead of the island to be able to see cars traveling eastbound. If you have the added traffic of cars turning to and from Goodrich Road, it seems it will become very busy. He has concerns about traffic in this area.

Ellen Kapitan – She seconds the concern. In Traffic and Safety, Ransom and Vale Park are number one concerns with the through traffic. While Goodrich may alleviate some of that, they know people are using those two roads.

Clay Patton – He would invite any staff or Commission members to drive this neighborhood and then drive west bound on Vale Park and turn south on Whispering Brook. He does not know how this could be redesigned. Maybe have Goodrich come south from Ransom and eventually become a four way stop. That would be a lot safer for a traffic pattern through the neighborhood. Vista is a One Way. If he lived on Lots 9, 10 or 11, there is no way he would go up Goodrich and turn left on Vista Trails and go home. He will violate the Do Not Enter sign and go in. Does that mean the City will not plow that?

Todd Leeth – That is what that means.

Clay Patton – Where do garbage trucks go? Do they not go on there?

Beth Shrader – Garbage trucks may. That will be up to VCS to determine if they want to serve or if it will be by private hauler. That was one of the considerations they had with this layout. The way the VCS waste trucks work a westbound one-way was preferable.

Clay Patton – Is Goodrich Road going to be private?

Beth Shrader – No.

Clay Patton – Lots 17 and 18 get City trash, but Lots 1-16 might not? How does the City truck collect the trash from 17 and 18 without turning onto this private road or using some sort of turn around?

Beth Shrader – The private road would allow City vehicles to travel on it. It is wide enough.

Clay Paton – So they will be traveling on it but might decide to not pick up the trash they are driving past.

Beth Shrader – That is up to them to decide whether they are going to take in all the waste management for this section. This was designed with them in mind so they could service all of the lots.

Clay Patton - If cars are parked on the south side of Vista Trails that could impede the trucks grabbing the totes.

Beth Shrader – The totes have to be taken to the North side.

Matt Evans – Lots 13 and 14 have to take their trash to the north side of the road where 4 and 3 are located?

Beth Shrader – Yes, on trash day.

Clay Patton – 11,12, 13 14, 15 and 16 have to go to the opposite side of the street.

Matt Evans – Possibly 17 and 18 also.

Beth Shrader – Yes.

Tim Warner – Was there street parking in the original?

Beth Shrader – In the original PUD or in what was approved in December of 2022? In December of 2022 there were small clusters of off-street parking that were on individual lots. We found them to be undersized. There were issues with having public parking on individual lots that were owned by folks. There will not be any striping for parking. The engineer laid out nine spots that can be spots on the south side only. One other change of note with this amendment is the requirement to have at least 20' drives. In the 2019 PUD Ordinance it was shortened from the City standard of 20'. The reason for 20' is so people can park in the driveway without hanging out over the sidewalk or into the street. This ensures four parking spots at each house – two in the garage and two in the driveway.

Clay Patton – Is there a reason the Open Space Easement is in that section? Is there an issue with a portion being a wetland?

Todd Leeth – He is not sure. His suspicion is that they could not get to it with a cul-de-sac and did not want to put driveways on Vale Park. It just seemed to be the best place for an open space.

Clay Patton – He recognizes this might reduce the number of buildable units there, but if there was some way Goodrich could be curved into that area to be immediately across from Whispering Brook Lane, it would be much better with traffic.

Adam McAlpine, engineer for Vista Trails – He talked about the Open Space. There are six homes that will have extended back yards. This adds value to these homes. It will be landscaped. There will be buffering along the north side of Vale Park Road. There are zero environmentally sensitive issues with this Open Space easement.

Max Rehlander – The corner lots are smaller homes. Was it the standard size for a house in this location versus what is the corner lot size.

Mike Grannis with Haven Home – The maximum is 50' wide. Most of the plans he has with a three-car garage are hovering around 60'-65'. If he takes off one car bay he only takes off 10'. He tried to put a house the same size as the Emmert's on one of the lots and it would not fit. He needed a 10' reduction to make the house fit. Eight of his 10 plans do not fit on the corner lots.

Max Rehlander – There are other corner lots in this development. Are you going to come back to us at some time?

Todd Leeth – If we did, we would have to do it on a lot-by-lot basis with very good reasons to counteract concerns staff raised.

Matt Evans – He has seen this in front of the Commission before. There has been a big improvement over the last plan. He likes the longer driveways. He thinks some on street parking is important. He likes that it is a through street. He thought the cul-de-sac was problematic. Chicago and Jefferson are similar. Those two streets have parking on both sides of the street. This plan accommodates a lot of changes that were needed. It is a dense development, but it seems to be marketable in the drawing that is presented. Overall, it meets the intended City standard from his perspective.

Todd Leeth – This PUD has a cap on the number of homes. They are under that number. They will still see some more reduction. This PUD provides 33% as Open Space.

Matt Evans – He thinks the Open Space has a drainage way coming off it. That is important for storm water which is a good thing.

Diane Worstell – This has come a long way. There have been some thoughtful changes that have been made.

MOTION: Diane Worstell moved to continue PUDA23-001 to next month's meeting on October 1st. Sarah Litke seconded the motion. Upon roll call vote the motion passed with a 7-1 vote. Ellen Kapitan voted No.

Roll Call Vote:

Diane Worstell – Yes
Sarah Litke – Yes
Vic Ritter – Yes
Tim Warner – Yes

Matt Evans – Yes
Clay Patton – Yes
Ellen Kapitan – No
Max Rehlander – Yes

MOTION: Vic Ritter moved to continue PP24-003 and SSP23-002, to next month's meeting on October 1st. Diane Worstell seconded the motion. Upon roll call vote the motion passed with a 6-2 vote. Ellen Kapitan and Clay Patton voted No.

Roll Call Vote:

Diane Worstell – Yes
Sarah Litke – Yes
Vic Ritter – Yes
Tim Warner – Yes

Matt Evans – Yes
Clay Patton – No
Ellen Kapitan – No
Max Rehlander – Yes

ADJOURNMENT:

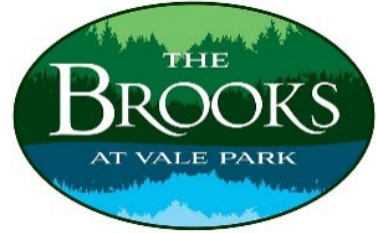
Motion: Vic Ritter moved to adjourn the meeting. Ellen Kapitan seconded the motion. Upon voice vote the motion passed with an 8-0 vote.

Matt Evans, President

Beth Shrader, Executive Secretary

Next Meeting: Tuesday, October 1, 2024

THE BROOKS AT VALE PARK DEVELOPMENT PLAN



Amendment To Corner Lot Setbacks in the Single-Family Residential District - Traditional Subdistrict And to Adopt an Alternate Plan to Amend Conceptual Site Plan For Vista Trails Duplexes (Formerly Trailside Duplexes)

This is an amendment to Ordinance No. 11, 2019 (hereinafter referred to “The Brooks PUD Ordinance”) and Schedule 1 thereto, the Planned Unit Development known as The Brooks at Vale Park within the City of Valparaiso, Indiana amending portions of Conceptual Site Plan therein specifically to allow for the consistent treatment of corner lot setbacks with other lot standards within the Single-Family Residential District – Traditional Subdistrict and to adopt an Alternate Plan to Amend Conceptual Site Plan for the Vista Trails Duplexes on Lot F-1, and for other purposes.

WHEREAS, Article 15, Division 15.500 of the Unified Development Ordinance entitled "Procedures and Administration for Planned Unit Development Approval" permits the establishment in the City of Valparaiso of planned unit developments ("PUDs"), and an application for approval of The Brooks at Vale Park PUD District was filed by VJW Limited, LLC (on behalf of VJW The Brooks, LLC hereinafter sometimes referred to as "Developer"); and

WHEREAS, the Valparaiso Plan Commission and the Common Council for the City of Valparaiso, after all proper legal notice, did conduct a public hearing and other procedural requirements of the Indiana Code and the Unified Development Ordinance for the City of Valparaiso for the consideration of the application and the establishment of the PUD District; and

WHEREAS, on July 22, 2019, the Common Council did adopt The Brooks PUD Ordinance by a vote of 6-0 and said The Brooks PUD Ordinance was duly recorded on January 31, 2020 in the Office of the Recorder of Porter County, Indiana as Document No. 2020-002278; and

WHEREAS, pursuant to Section 17 of Schedule 1 to The Brooks PUD Ordinance, the Plan Commission, may approve a development standard or an alternate plan that is not included in, or is different from, those set forth in this The Brooks at Vale Park PUD Ordinance or which is different than previously approved by the Plan Commission; and

WHEREAS, the Plan Commission did approve an Alternate Plan to The Brooks at Vale Park PUD on November 10, 2020 which plan is set forth on Exhibit B thereto modifying the area marked as Amendment Area thereon to be Multi-Family Residential District, Twin Home Subdistrict; and

WHEREAS, the Developer did further modify and alter Exhibit C, the Conceptual Site Plan for The Brooks at Vale Park PUD set forth in Schedule 1 of The Brooks PUD Ordinance only as to that real estate formerly known as Lot F-1; and

WHEREAS, Exhibit A attached hereto and incorporated herein depicts the changes to the proposed Conceptual Site Plan as to the Amendment Area which shall now include nine (9) separate two-family residential buildings (duplexes) generally as shown on said Exhibit A; and

NOW, THEREFORE, The Brooks PUD Ordinance provides and allows for the amendment of development standards and approval of the amendment to the alternative plans upon petition of the VJW The Brooks, LLC, its successors and assigns, the Developer defined in The Brooks PUD Ordinance and Developer has petitioned for and seeks the following amendment to the Alternative Plan to The Brooks PUD Ordinance.

Section 1. Incorporation of Recitals. The above and foregoing recitals are hereby incorporated in this instrument by reference.

Section 2. Definitions. Terms defined in the The Brooks PUD Ordinance which are used in this Amendment shall have the meaning as set forth in the The Brooks PUD Ordinance unless otherwise expressly specified herein or the context expressly provides otherwise.

Section 3. Corner Lots in the Single-Family Residential District – Traditional Subdistrict. The following corner lots in Figure 3.0 are within the Single-Family Residential District – Traditional Subdistrict and may apply a reduced street side yard setback (20' vs. 30') when the home fronts a particular road as shown in Figure 3.0.

Lot Number	Front Yard Face	Street Side Yard	Side Yard ROW
5	Whispering Brook Ln.	20 feet	Winding Brook Dr.
30	Whispering Brook Ln.	20 feet	Winding Brook Dr.
37	Whispering Brook Ln.	20 feet	Winding Brook Dr.
57	Winding Brook Dr.	20 feet	Old Oak Drive

Figure 3.0

The Single-Family Residential District – Traditional Subdistrict has been advanced with a Secondary Development Plan recorded May 17, 2022 as Document No. 2022-010829 (Plat File 60-B-3C1 in the Office of the Recorder of Porter County, Indiana.

Section 4. Twin House Subdistrict – Rear Yard Setback. To the extent that this Amendment is inconsistent with the Alternate Plan and Schedule 1 to The Brooks PUD Ordinance, the following shall modify Section 7.4 therein only to the extent that they are inconsistent with the following:

- (a) Development Standards. Table 7.4 is hereby amended to modify the rear yard setback in the Twin House Subdistrict established by this Amendment to Alternate Plan which shall apply to the Twin House Subdistrict only.

Table 7.4 Multi-Family Residential District Development Standards						
PUD Subdistrict	Min. Lot Size (Sq. Ft.)	Minimum Yards			Height (feet)	Max. Lot Coverage
		Front	Rear	Side/Ea.		
Twin House Subdistrict	See Exhibit A	10'	8'	0/5'	37	85%

- (b) Architectural Design Standards. Only within the Twin House Subdistrict, the requirement in Section 7.5(b)(1) requiring sixty percent (60%) of the first floor of all elevations, excluding windows, doors and similar appurtenances, to be brick, stone or cultured stone shall not apply. The Twin House architecture shall be one-story craftsman style design which does not lend itself to masonry as the primary siding material. It is anticipated that Hardie board, or a similar product, will be the primary siding material for the Twin House Subdistrict duplex homes.
- (c) Driveway Length. Each Lot shall have a minimum driveway length of twenty feet (20') measured from the private road easement line.

Section 5. Private Streets. Within the new Twin House Subdistrict, all streets, parking areas and associated driveways shall remain private and not dedicated to the public.

Section 6. Consideration of Amendment by Plan Commission. On or about September 3, 2024, the Plan Commission did conduct a public hearing pursuant to the rules of the Plan Commission to consider the Amendment to the Alternate Plan and Conceptual Site Plan for Vista Trails Duplexes, and after hearing Developer's arguments and evidence in support of the amendment, remonstrance and opposition or the opportunity for the receipt thereof, and comments, reports or recommendations of staff and others, the Plan Commission for the City of Valparaiso, Indiana now finds and determines that the amendment and alternate plan to the Amendment Area set forth on Exhibit A hereto:

(i) will not substantially affect the integrity of the Site Improvement Plans for the Property;

(ii) is appropriate for the site and its surrounding;

(iii) is compatible and consistent with the intent of the stated standards or Site Improvement Plans.

Section 7. Severability. The invalidity of any section, clause, sentence or provision of this amendment shall not affect the validity of any other part of this amendment which can be given effect without such invalid part or parts.

Section 8. Effective Date. This amendment and alternative plan shall be in full force and effect after its passage and approval by the Plan Commission for the City of Valparaiso.

APPROVAL

This Amendment to Corner Lot Setbacks for the Single-Family Residential District – Traditional Subdistrict and to Adopt an Alternate Plan for Vista Trails Duplexes was approved by the Plan Commission for the City of Valparaiso, Indiana this 1st day of October, 2024.

Matt Evans, President
Plan Commission
City of Valparaiso

I affirm under the penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. *Todd A. Leeth*

This Instrument Prepared By:

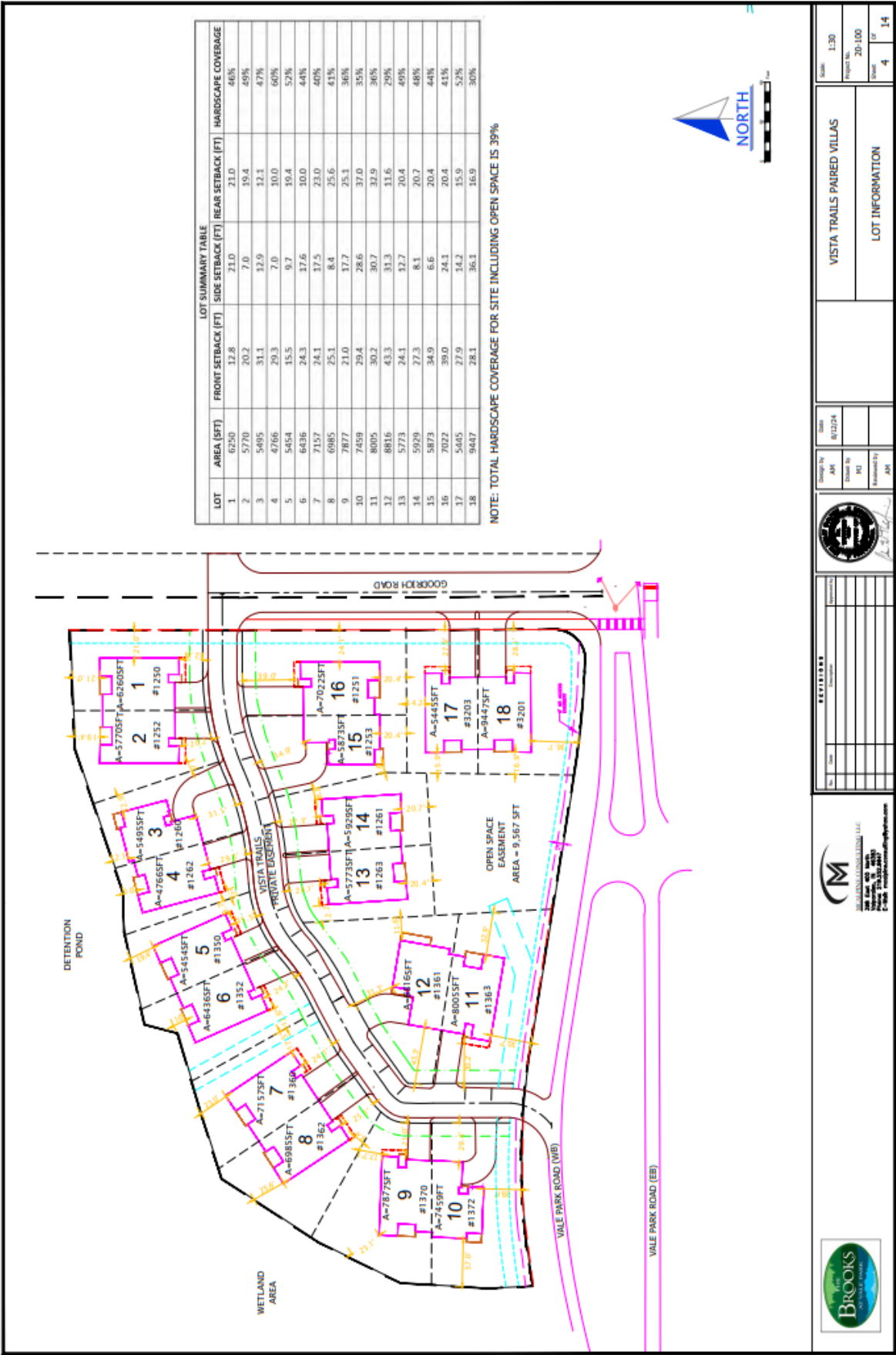
TODD A. LEETH
LEETH LAW LLC
2700 VALPARAISO ST., #2412
VALPARAISO, INDIANA 46384



September 25, 2024

<https://leethlaw.sharepoint.com/sites/LeethLaw/Shared Documents/Client Folders/Tango/TCW Development 19369/Beauty Creek Project -1/Vista Trails formerly Trailside Duplexes/Trailside Duplexes/Amendment to Alt Plan for Vista Trails Duplex 2024-09-03.docx>

EXHIBIT A



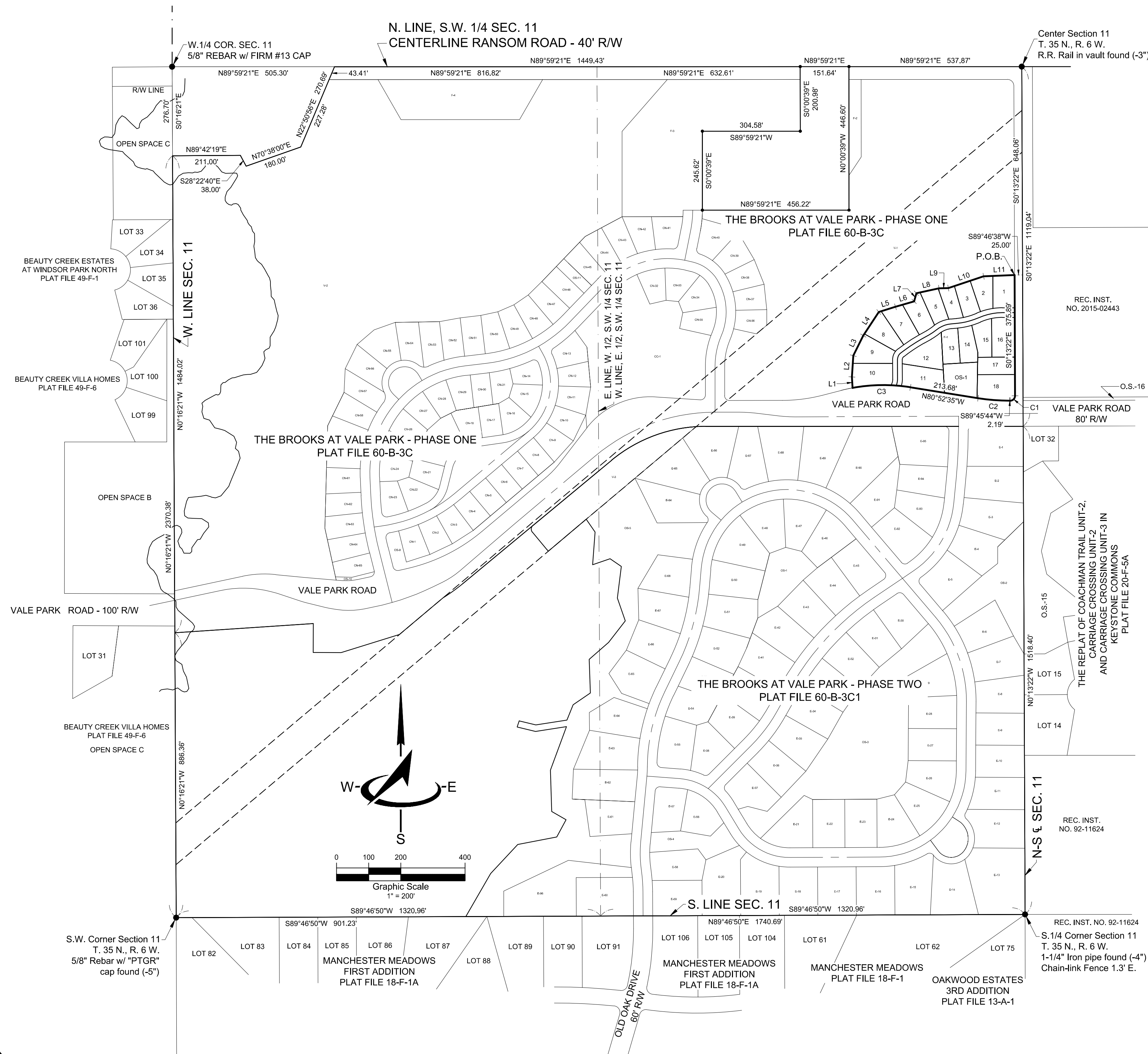


The Brooks at Vale Park - Vista Trails Paired Villas

a Planned Unit Development

City of Valparaiso, Center Township, Porter County, Indiana
S.W. 1/4 Section 11, Township 35 North, Range 6 West

Secondary Development Plan



Description:

Lot F-1 as shown on the plat of The Brooks at Vale Park - Phase One, recorded in Plat File 60-B-3C, Instrument Number 2021-038716, in the Office of the Recorder of Porter County, Indiana, also being part of the East Half of the Southwest Quarter of Section 11, Township 35 North, Range 6 West, of the 2nd Principal Meridian, in the City of Valparaiso, Porter County, State of Indiana, and being more particularly described as follows:

Beginning at a railroad rail in a vault marking the Northeast corner of the Southwest Quarter of said Section 11, said point also being the northeast corner of said plat of The Brooks at Vale Park - Phase One; thence South 00°13'22" East, along the East line of the Southwest Quarter of said Section 11 and said plat of The Brooks at Vale Park - Phase One, a distance of 648.06 feet; thence South 89°46'38" West a distance of 25.00 feet to the Northeast corner of said Lot F-1, also being the Point of Beginning of this description; thence along the West right of way line of Goodrich Road and the North right of way line of Vale Park Road the following six (6) courses:

- South 00°13'22" East a distance of 375.89 feet;
 - along a curve turning to the right through an angle of 89°59'08", having a radius of 15.00 feet, and whose long cord bears South 44°46'12" West for a distance of 21.21 feet;
 - South 89°45'44" West a distance of 2.19 feet;
 - along a curve turning to the right through an angle of 9°21'41", having a radius of 600.00 feet, and whose long cord bears North 85°33'25" West for a distance of 97.92 feet;
 - North 80°52'35" West a distance of 213.68;
 - along a curve turning to the left through an angle of 19°33'44", having a radius of 530.00 feet, and whose long cord bears South 89°20'33" West for a distance of 180.08 feet;
- thence along the Southerly and Easterly lines of Lot V-1 of said The Brooks at Vale Park - Phase One the following eleven (11) courses:
- North 02°51'42" West a distance of 34.49 feet;
 - North 03°36'47" East a distance of 66.31 feet;
 - North 26°26'47" East a distance of 69.83 feet;
 - North 33°20'40" East a distance of 87.53 feet;
 - North 72°31'56" East a distance of 54.51 feet;
 - North 73°47'12" East a distance of 60.57 feet;
 - North 15°10'46" East a distance of 26.12 feet;
 - North 77°40'59" East a distance of 72.10 feet;
 - North 88°35'41" East a distance of 29.01 feet;
 - North 71°32'07" East a distance of 115.77 feet;
 - North 87°35'39" East a distance of 96.49 feet to the Point of Beginning.

Containing 3.454 acres of land, more or less.

Notes:

- Development Standards
Cottage Home Subdistrict
Setbacks:
Sideyard: 5'
Rear: 15'
Height: 28'
Max. lot coverage: 60%
Max. building coverage: 50%
Traditional Home Subdistrict
Setbacks:
Sideyard: 10'
Rear: 20'
Height: 28'
Max. lot coverage: 50%
Max. building coverage: 40%
Clubhouse/office
Setbacks:
Sideyard: 15 feet for single side and 30 feet total of both sides
Rear: 35'
Height: 36'
Max. lot coverage: 30%
Max. building coverage: 15%
Twin House Subdistrict
Setbacks:
Sideyard: 0'/5'
Rear: 5'
Height: 37'
Max. lot coverage: 85%
- Road Acreage
Dedicated to the Public: 0.000 Acres
Private Roadway: 0.338 Acres
Total: 0.388 Acres

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD DISTANCE
C1	23.56'	15.00'	89°59'08"	15.00'	S44°46'12"W	21.21'
C2	98.03'	600.00'	9°21'41"	49.13'	N85°33'25"W	97.92'
C3	180.96'	530.00'	19°33'44"	91.37'	S89°20'33"W	180.08'

LINE TABLE		
LINE	LENGTH	BEARING
L1	34.49'	N2°51'42"W
L2	66.31'	N3°36'47"E
L3	69.83'	N26°26'47"E
L4	87.53'	N33°20'40"E
L5	54.51'	N72°31'56"E
L6	60.57'	N73°47'12"E
L7	26.12'	N15°10'46"E
L8	72.10'	N77°40'59"E
L9	29.01'	N88°35'41"E
L10	115.77'	N71°32'07"E
L11	96.49'	N87°35'39"E

SCALE: 1" = 200'

DATE OF FIELDWORK:
DATE OF DRAWING: 8/12/2024
DATE OF CERTIFICATION: -
DATE
REVISION

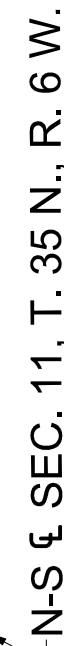
CAD FILE:
69787PLAT.dwg
JOB NUMBER
1022069787
DRAWN BY
MAT

The Brooks at Vale Park - Vista Trails Paired Villas
a Planned Unit Development
Secondary Development Plan
SW 1/4 Section 11, T. 35 N., R. 6 W.
City of Valparaiso, Center Township, Porter County, Indiana

8888 E. U.S. Hwy. 20
P.O. Box 960
New Carlisle, Indiana 46552
(574) 654-3450
info@sam.biz
www.sam.biz

© 2024 Surveying And Mapping, LLC
SHEET 1 OF 2
DRAWING NO.
-

-



We, the undersigned The Brooks Land, LLC, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted, and subdivided said real estate in accordance with the attached plat. This subdivision shall be known and designated as **The Brooks at Vale Park - Vista**. The plat is attached hereto and is hereby incorporated by reference into this instrument. The plat is subject to the easements for various purposes. Utility easements are reserved for the use of public utilities for the installation of mains, poles, ducts, lines and wires, subject at all times to the proper authorities and to the easement herein reserved. Drainage easements are reserved for the use of the homeowners and/or the property owners' association to provide for the construction, maintenance, and operation of drainage conduits, swales, channels, overflows, detention basins, or other runoff management facilities. No other easements are shown on the plat. The owners of the lots shown on the plat. Certain lots in this subdivision shall take their titles subject to the rights of the public utilities and to the owners of other lots in this subdivision.

The Brooks of Vale Park is further governed by Ordinance No. 2019-11, An Ordinance Establishing Planned Unit Development Districts for The Brooks at Vale Park adopted July 22, 2019 by the Common Council of the City of Valparaiso, Indiana and recorded January 31, 2020 as Document No. 2020-002278 in the Office of the Recorder of Porter County, Indiana.

Portions of The Brooks at Vale Park Planned Unit Development shall further be governed by covenants and restrictions which shall run with the land and shall be binding on all parties and all persons claiming, by, through or under the owner which will be established hereinafter pursuant to a certain Declaration of Covenants and Restrictions or similar instrument(s). The owners reserve the right to establish additional covenants, restrictions, easements and obligations on the land within the Secondary Development Plan, or to submit portions thereof to the Indiana Condominium Act (I.C. 32-25-1-1 et seq.).

V. Jacob Wagner, Manager
The Brooks Land, LLC
212 E. Lincolnway
Valparaiso, Indiana 46383

Before me, a Notary Public in and for the said County and State, personally appeared V. Jacob Wagner, Manager and acknowledged the execution of the foregoing as his voluntary act and deed for the purposes herein expressed.

[Notary Public's Signature]

[Notary Public's' Printed Name]

Resident of _____ County.

My Commission expires _____, 20____

Commission No. _____

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD DISTANCE
C19	10.74'	11.50'	53°30'21"	5.80'	S26°39'09"W	10.35'
C20	62.36'	485.00'	7°22'00"	31.22'	S57°05'20"W	62.31'
C21	30.65'	175.00'	10°02'07"	15.36'	N55°43'56"E	30.61'
C22	6.70'	70.00'	5°29'14"	3.35'	S53°28'50"W	6.70'
C23	35.00'	70.00'	28°38'54"	17.87'	S70°32'54"W	34.64'
C24	1.17'	230.00'	0°17'28"	0.58'	N84°43'38"E	1.17'
C25	44.43'	230.00'	11°04'06"	22.28'	N79°02'51"E	44.36'
C26	29.34'	230.00'	7°18'33"	14.69'	N69°51'31"E	29.32'
C27	36.07'	170.00'	12°09'29"	18.10'	S72°16'59"W	36.01'
C28	33.87'	170.00'	11°24'55"	16.99'	S84°04'11"W	33.81'
C29	19.28'	32.00'	34°31'33"	9.94'	N17°09'45"E	18.99'
C30	28.28'	41.50'	39°02'55"	14.72'	S19°25'26"W	27.74'
C31	10.47'	41.50'	14°27'26"	5.26'	S46°10'37"W	10.44'
C32	8.08'	515.00'	0°53'55"	4.04'	S53°51'17"W	8.08'
C33	57.30'	515.00'	6°22'30"	28.68'	S57°29'30"W	57.27'

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD DISTANCE
C34	0.84'	515.00'	0°05'35"	0.42'	S60°43'32"W	0.84'
C35	25.40'	145.00'	10°02'07"	12.73'	N55°45'16"E	25.36'
C36	4.92'	100.00'	2°49'15"	2.46'	S52°08'50"W	4.92'
C37	48.32'	100.00'	27°41'05"	24.64'	S67°24'00"W	47.85'
C38	6.34'	100.00'	3°37'49"	3.17'	S83°03'27"W	6.33'
C39	21.82'	200.00'	6°15'00"	10.92'	N81°44'52"E	21.81'
C40	43.35'	200.00'	12°25'07"	21.76'	N72°24'48"E	43.26'
C41	12.86'	200.00'	3°41'08"	6.43'	S68°02'48"W	12.86'
C42	40.05'	200.00'	11°28'28"	20.09'	S75°37'36"W	39.99'
C43	29.37'	200.00'	8°24'48"	14.71'	S85°34'14"W	29.34'

SCALE: 1" = 30"	
DATE OF FIELDWORK:	
DATE OF DRAWING: 8/12/2024	
DATE OF CERTIFICATION: -	
DATE	REVISION
CAD FILE: 69787PLAT.dwg	
JOB NUMBER 1022069787	DRAWN BY MAT

SW 1/4 Section 11, T. 35 N., R. 6 W.

City of Valparaiso, Center Township, Porter County, Indiana



8888 E. U.S. Hwy. 20
P.O. Box 960
New Carlisle, Indiana 46552
(574) 654-3450
info@sam.biz
www.sam.biz

© 2024 Surveying And Mapping, LLC

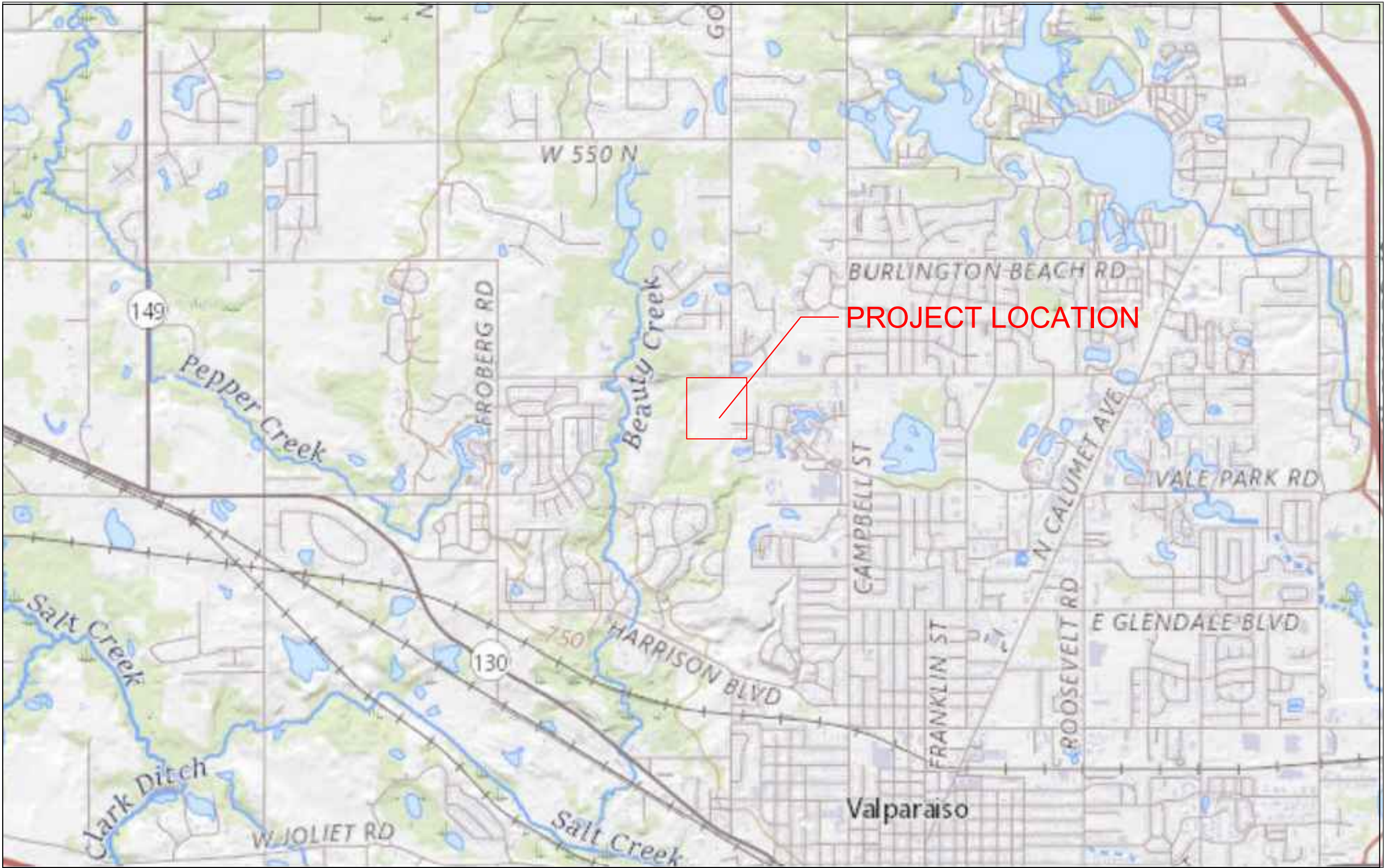
SHEET 2 OF 2

DRAWING NO.

VISTA TRAILS PAIRED VILLAS

SHEET INDEX	
SHEET No.	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION
3	SITE LAYOUT
4	LOT INFORMATION
5	EROSION CONTROL PLAN
6	GRADING PLAN
7	UTILITIES PLAN
8	TYPICAL ROAD PROFILES
9	SEWER AND WATER PROFILE: GOODRICH ROAD
10	SEWER PROFILE: VISTA TRAILS
11	WATER MAIN PROFILE: VISTA TRAILS
12	EROSION CONTROL DETAILS AND NOTES
13	CONSTRUCTION DETAILS 1
14	CONSTRUCTION DETAILS 2

BEGIN CONSTRUCTION: SUMMER 2024
END CONSTRUCTION: SUMMER 2025



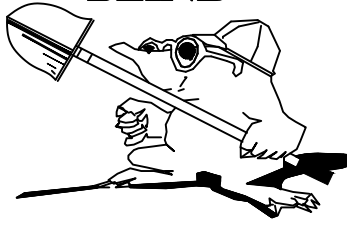
Vicinity Map
not to scale

PROJECT SITE:
1000 VALE PARK ROAD
VALPARAISO, IN 46385
41.497018, -87.075521

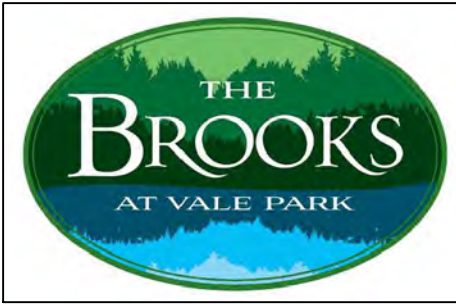
PORTER COUNTY



HOLEY MOLEY SAYS
"DON'T DIG
BLIND"



1-800-382-5544
CALL TOLL FREE
1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA
TWO WORKING DAYS PLEASE
LOCATION: PORTER COUNTY, INDIANA
TOWNSHIP: CENTER

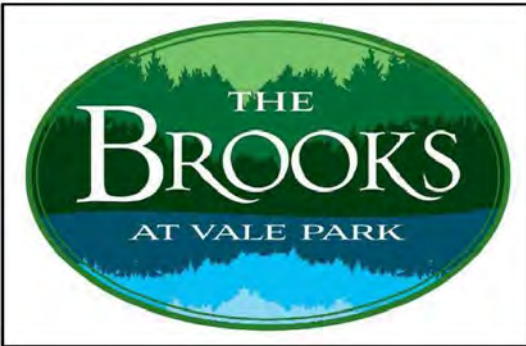
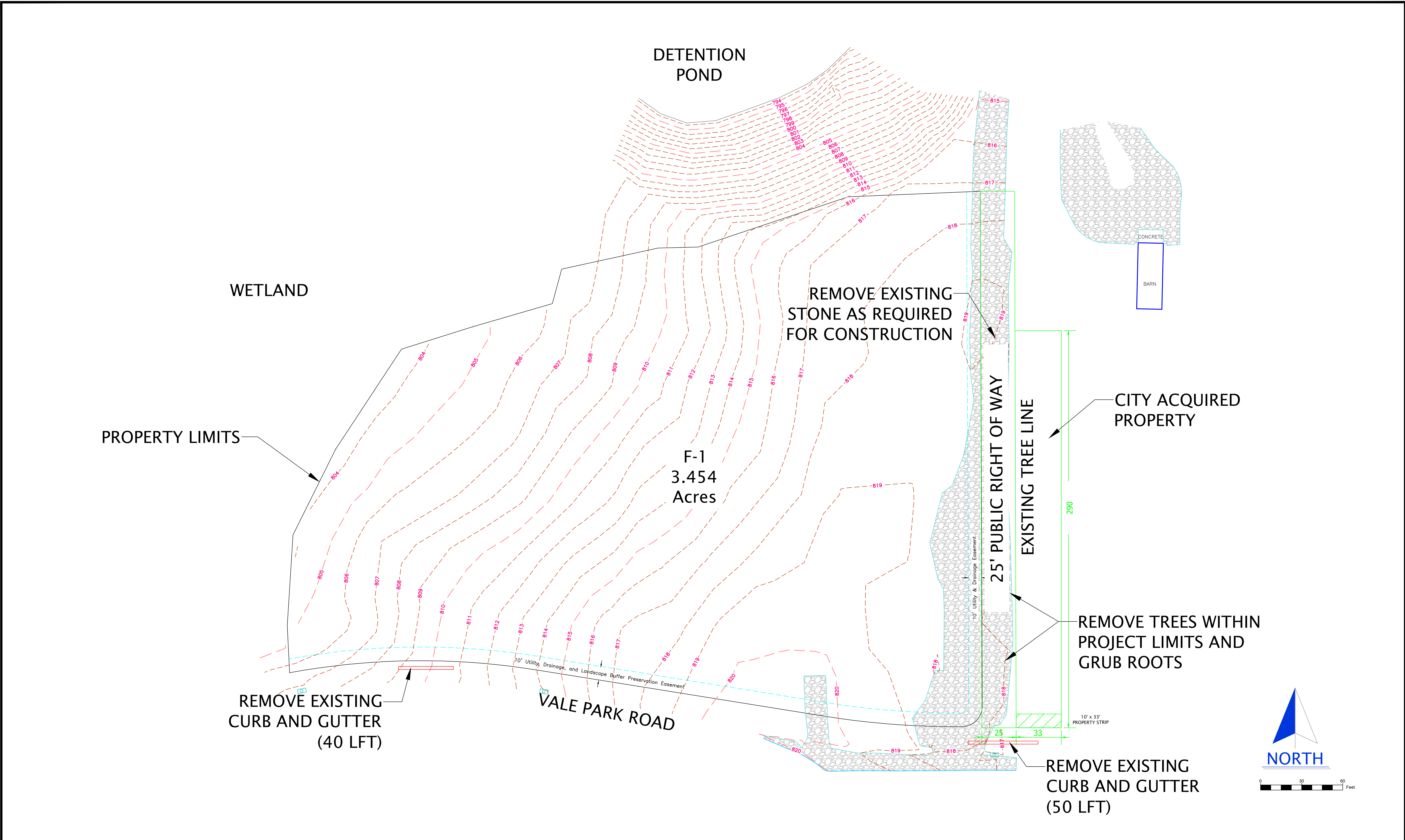


PROJECT OWNER: BROOKS LAND LLC
CONTACT: CHUCK WILLIAMS
ADDRESS: 212 Lincolnway, Valparaiso, IN 46383
PHONE: (219) 242-1520
E-MAIL: chuck@clwilliamscompanies.com



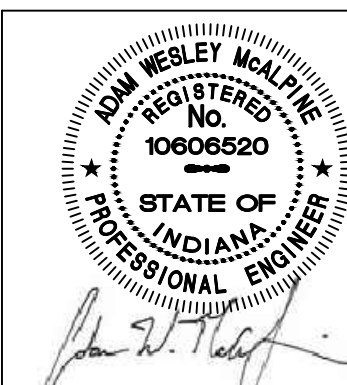
MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

REVISIONS				Design by	Date			VISTA TRAILS PAIRED VILLAS	Scale: NTS	
No.	Date	Description	Approved by						Project No.	20-100
				AM	8/12/24			COVER SHEET	Sheet	Of
				MJ					1	14
				AM						



MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

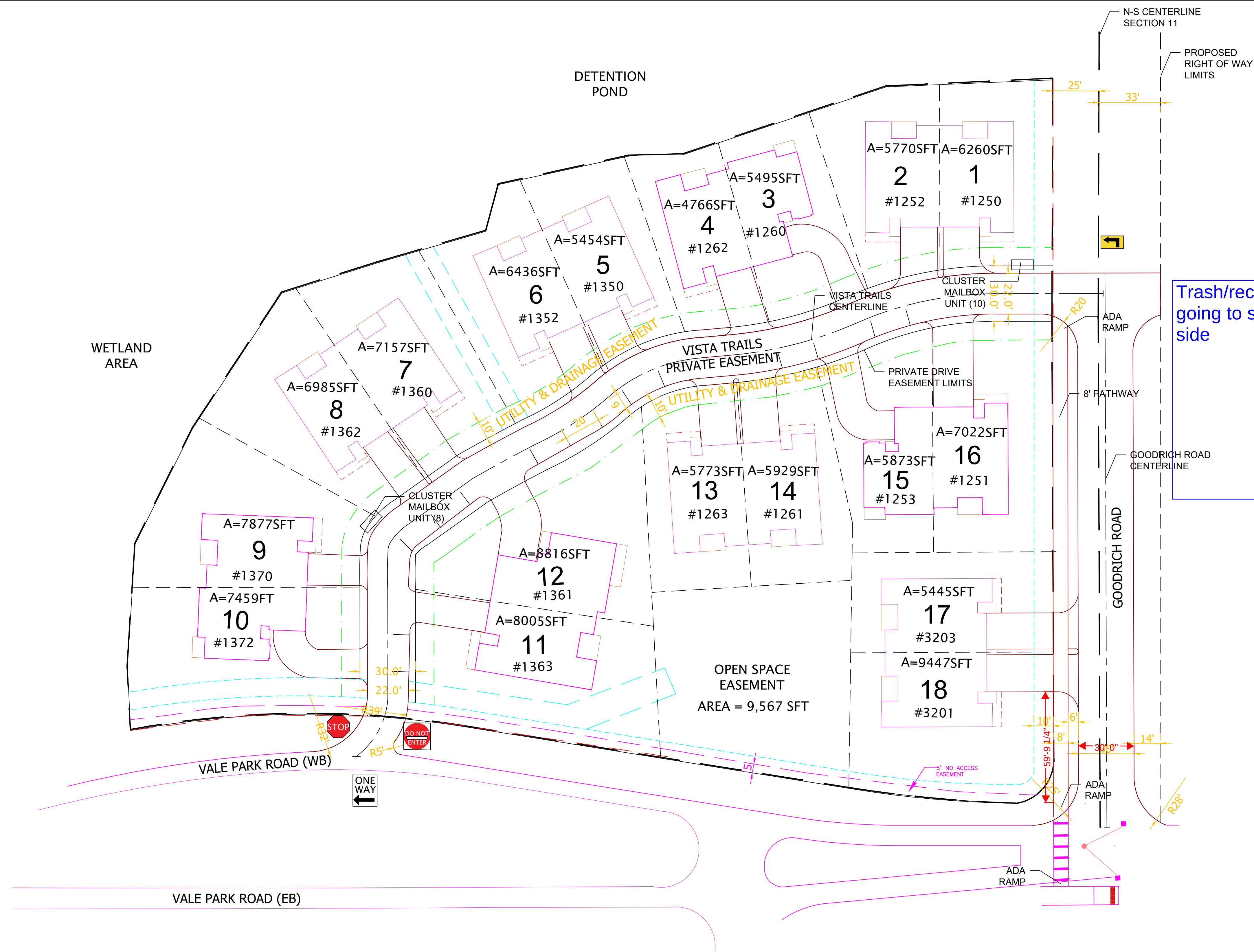
REVISIONS				
No.	Date	Description	Approved by	



Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

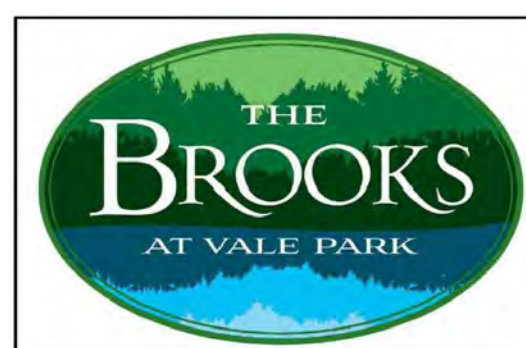
VISTA TRAILS PAIRED VILLAS	
EXISTING CONDITIONS AND DEMOLITION PLAN	

Scale:	1:30
Project No.	20-100
Sheet	Of
2	14



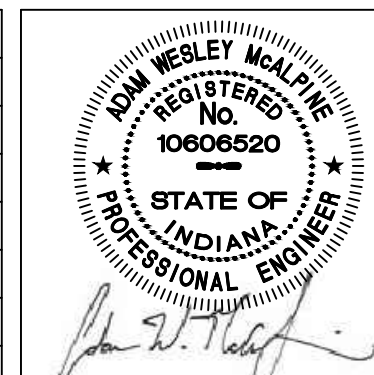
Trash/recycling? Where are the cans going to sit on the road? North/West side

NOTE: MAINTENANCE PLAN FOR OPEN SPACE TO BE DRAFTED BY HOA
 NOTE: PROPOSED RESTRICTIVE COVENANTS IN DRAFT BY LEGAL COUNSEL
 NOTE: NO STREET LIGHTS PROPOSED, PER BROOKS PUD
 NOTE: NINE (9) ON-STREET PARKING SPACES PROVIDED



M
 MCALPINE CONSULTING LLC
 398 East 400 North
 Valparaiso, IN 46383
 Phone: 219.252.9647
 E-Mail: mcalpine.consulting@yahoo.com

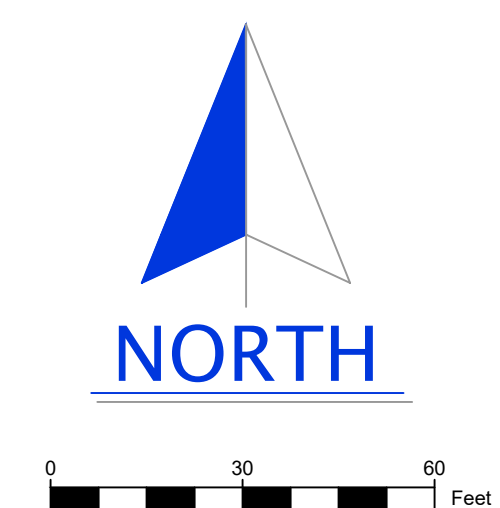
REVISIONS				
No.	Date	Description	Approved by	

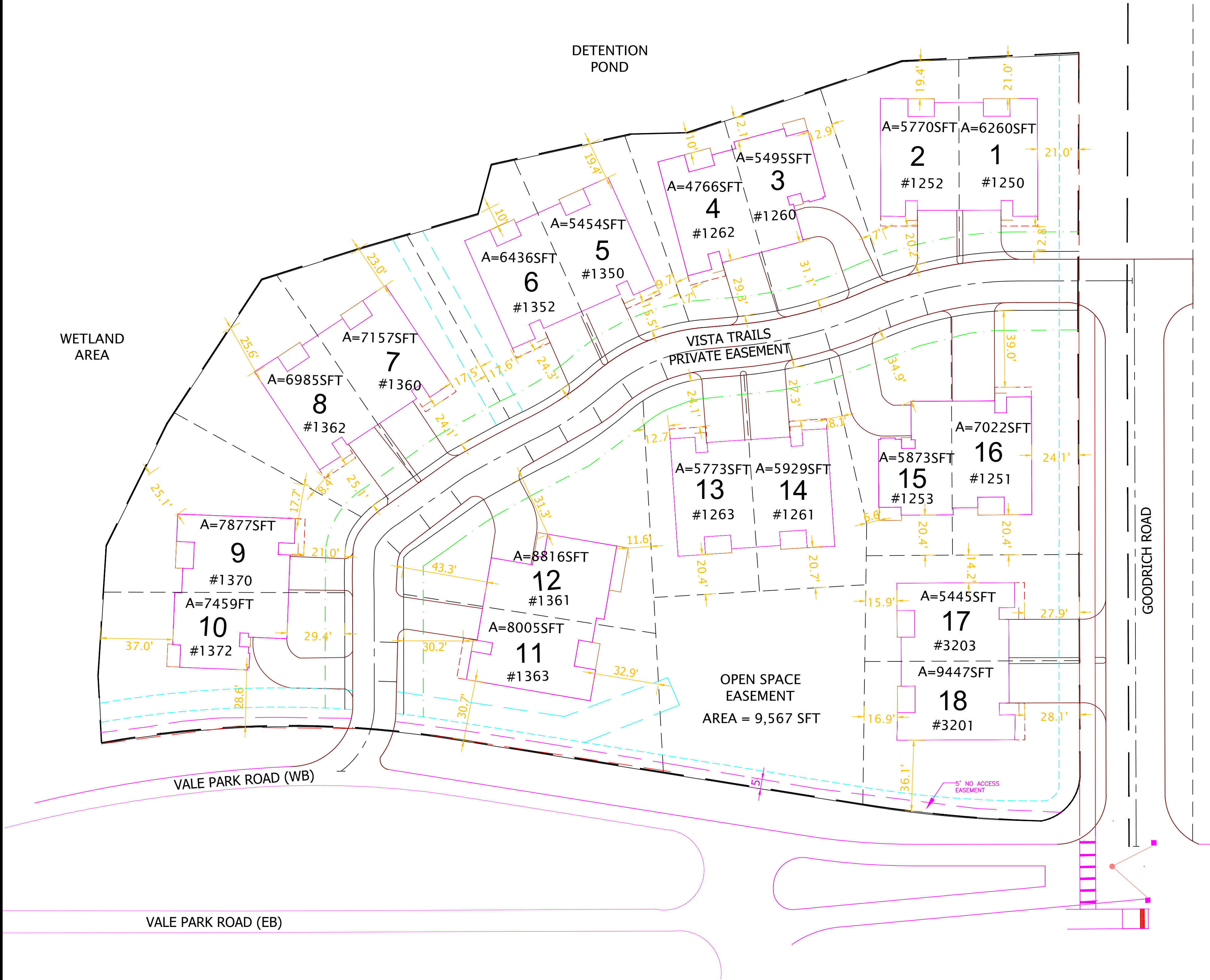


Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

VISTA TRAILS PAIRED VILLAS
SITE LAYOUT

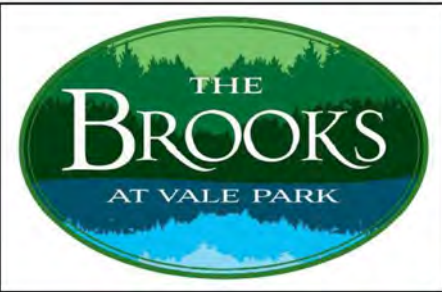
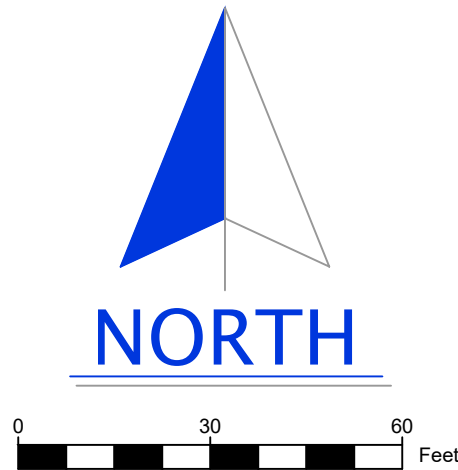
Scale:	1:30
Project No.	20-100
Sheet	Of
3	14





LOT SUMMARY TABLE					
LOT	AREA (SFT)	FRONT SETBACK (FT)	SIDE SETBACK (FT)	REAR SETBACK (FT)	HARDSCAPE COVERAGE
1	6250	12.8	21.0	21.0	46%
2	5770	20.2	7.0	19.4	49%
3	5495	31.1	12.9	12.1	47%
4	4766	29.3	7.0	10.0	60%
5	5454	15.5	9.7	19.4	52%
6	6436	24.3	17.6	10.0	44%
7	7157	24.1	17.5	23.0	40%
8	6985	25.1	8.4	25.6	41%
9	7877	21.0	17.7	25.1	36%
10	7459	29.4	28.6	37.0	35%
11	8005	30.2	30.7	32.9	36%
12	8816	43.3	31.3	11.6	29%
13	5773	24.1	12.7	20.4	49%
14	5929	27.3	8.1	20.7	48%
15	5873	34.9	6.6	20.4	44%
16	7022	39.0	24.1	20.4	41%
17	5445	27.9	14.2	15.9	52%
18	9447	28.1	36.1	16.9	30%

NOTE: TOTAL HARDSCAPE COVERAGE FOR SITE INCLUDING OPEN SPACE IS 39%



M
MICALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: micalpine.consulting@yahoo.com

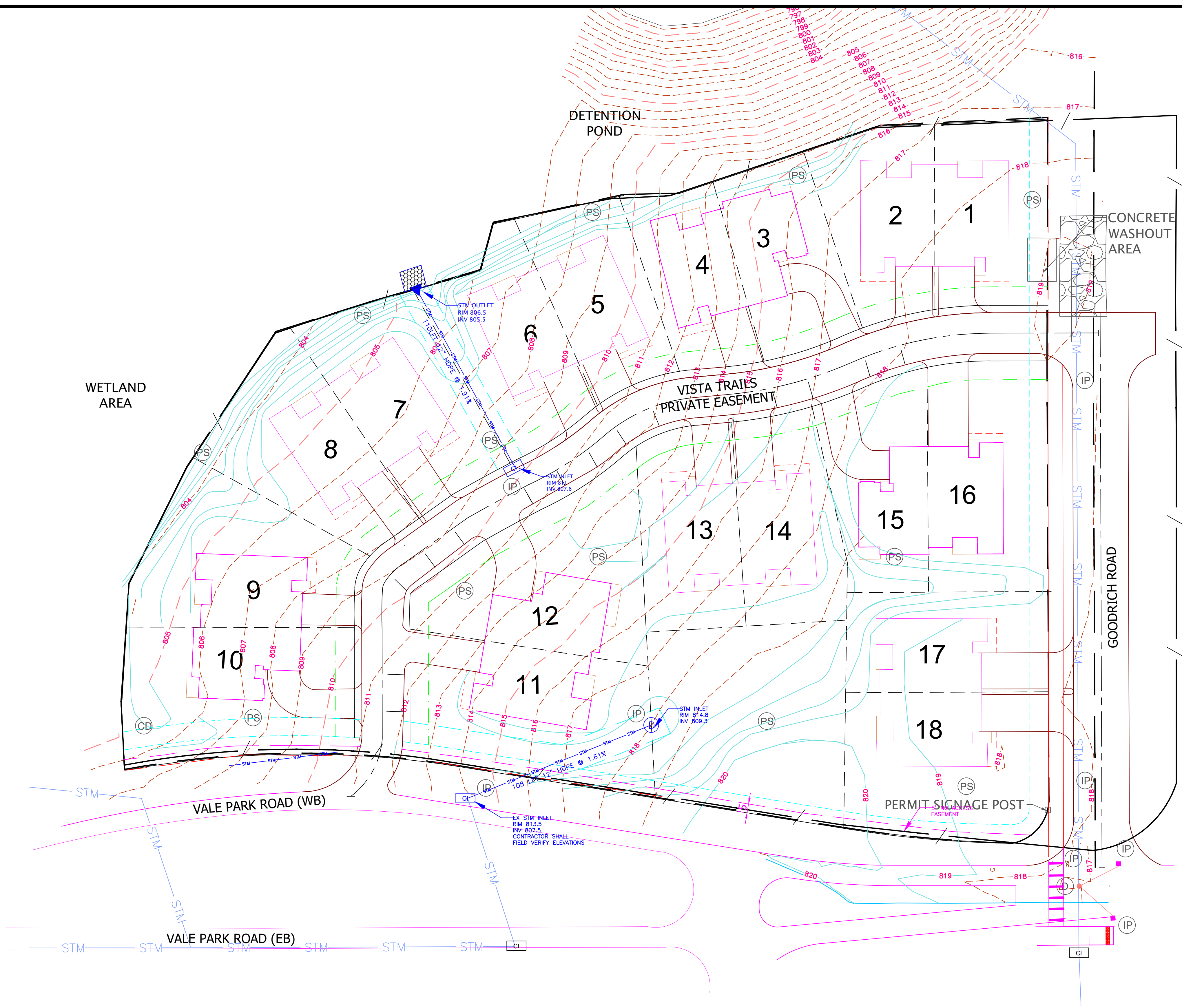
REVISIONS			
No.	Date	Description	Approved by



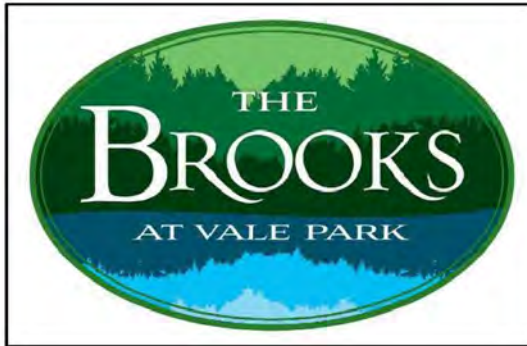
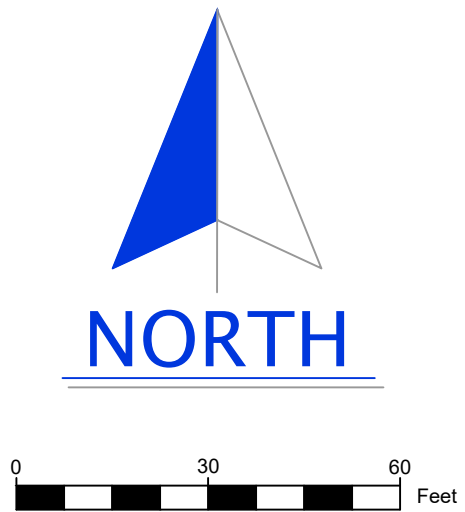
Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

VISTA TRAILS PAIRED VILLAS	
LOT INFORMATION	

Scale:	1:30
Project No.	20-100
Sheet	Of
4	14

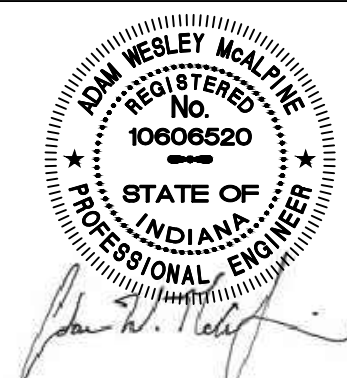


LEGEND	
SYMBOL	DESCRIPTION
	STORM SEWER STRUCTURE
	STORM SEWER CURB INLET
	INLET PROTECTION
	SILT FENCE
	PERMANENT SEEDING
	LOT LINES
	CONSTRUCTION ENTRANCE (50' LONG x 24' WIDE x 8" THICK)
	CHECK DAM
	STORM OUTLET PROTECTION




MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

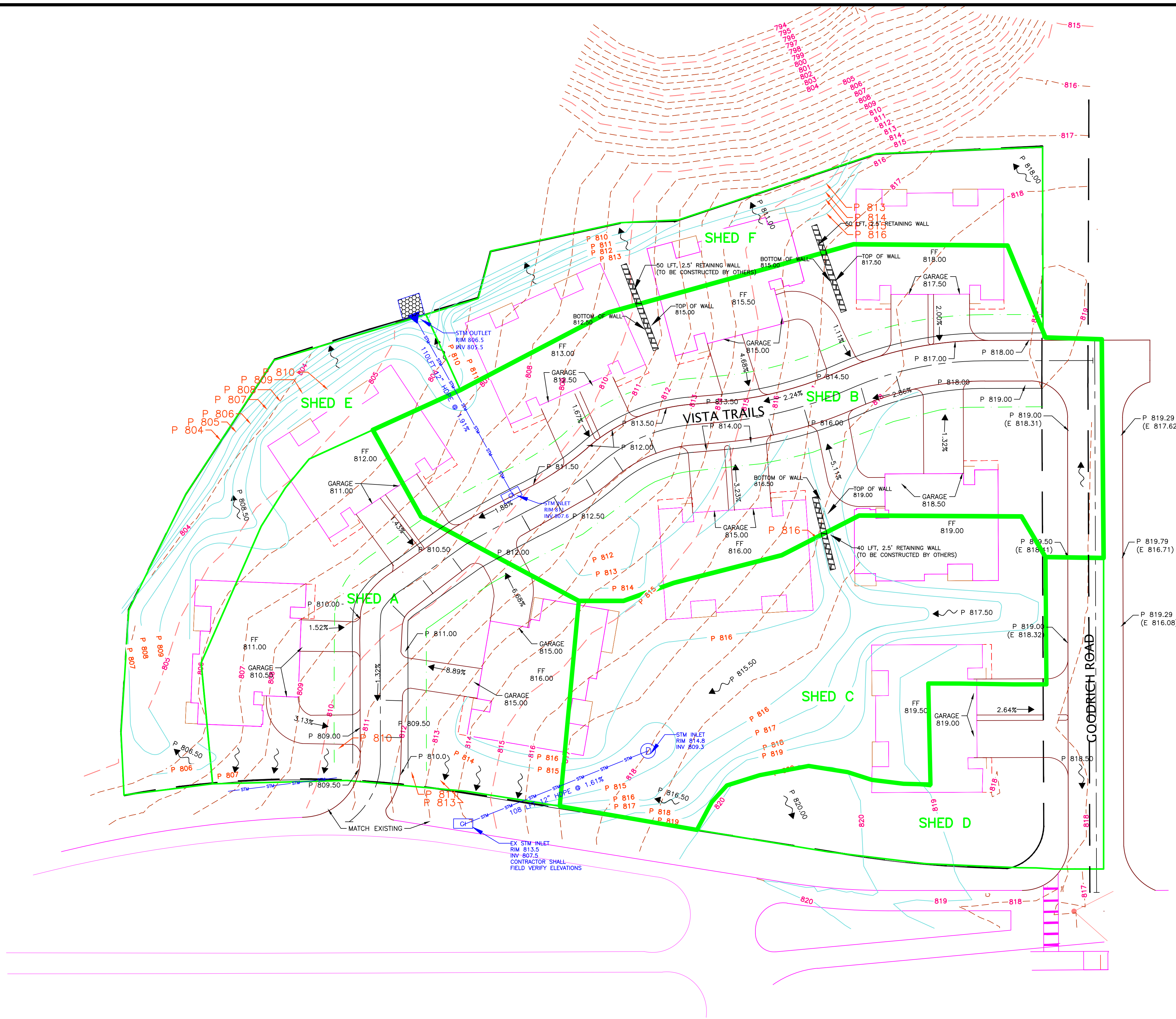
REVISIONS			
No.	Date	Description	Approved by



Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

VISTA TRAILS PAIRED VILLAS	
EROSION CONTROL PLAN	

Scale:	1:30
Project No.	20-100
Sheet	Of
5	14



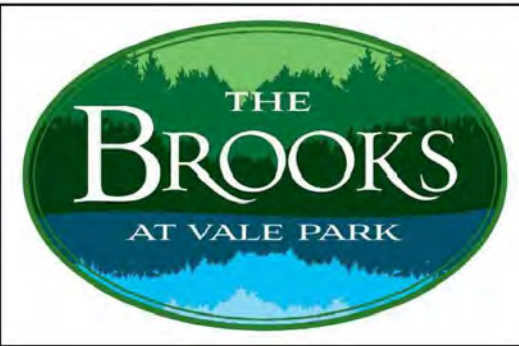
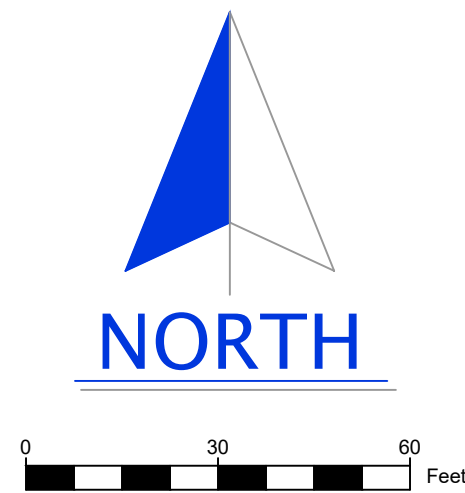
WATERSHED BOUNDARY

INITIAL MASS EXCAVATION
PROPOSED CONTOUR LINES

WATERSHED	AREA (SFT)
SHED A	28,409
SHED B	51,325
SHED C	31,309
SHED D	15,264
SHED E	14,568
SHED F	16,862

NOTE #1: ENTIRE SITE TO BE CUT, FILLED, AND GRADED FROM ELEVATIONS SHOWN ALONG ROADWAYS SLOPING TO THE PROPOSED BLUE CONTOUR LINES WITHIN THE LOT AREAS

NOTE #2: SITE CUT, FILLS AND GRADING FOR PROPOSED BUILDING PADS, DRIVES, AND SIDEWALKS TO BE COMPLETED BY HOME BUILDER



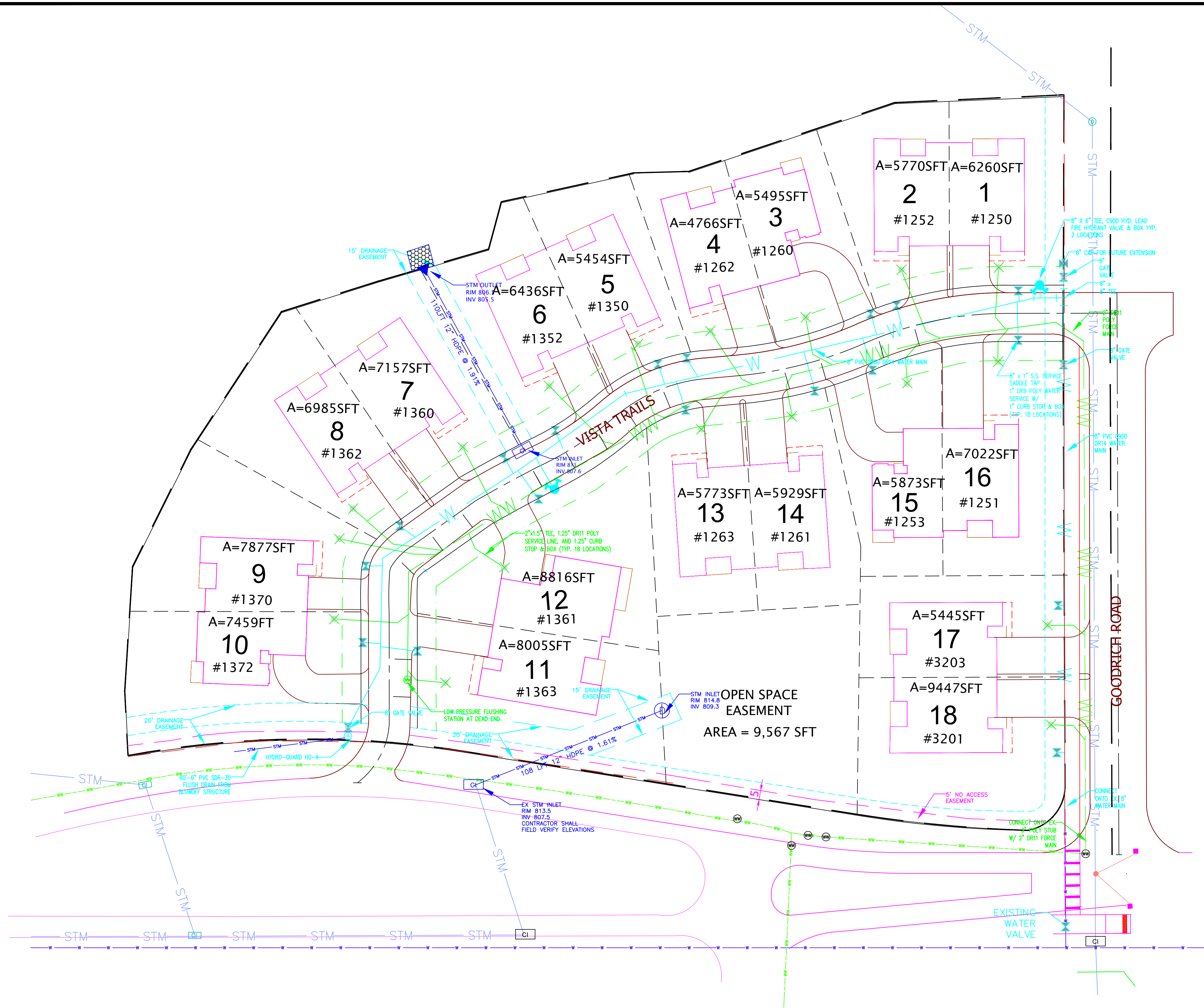
M
MCAIPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcaipine.consulting@yahoo.com

REVISIONS			
No.	Date	Description	Approved by

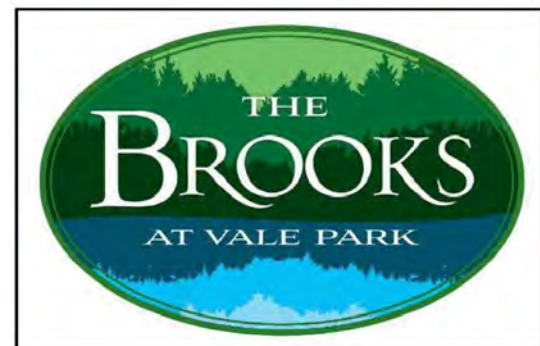
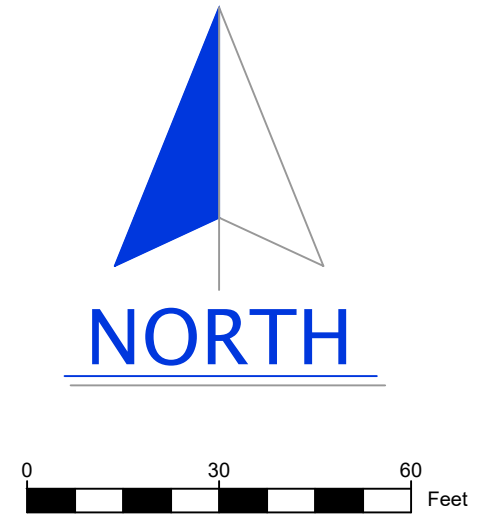


Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

VISTA TRAILS PAIRED VILLAS		Scale: 1:30	
GRADING PLAN		Project No. 20-100	
		Sheet 6	Of 14

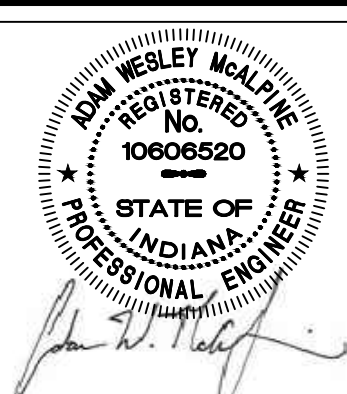


LEGEND	
SYMBOL	DESCRIPTION
	LOW PRESSURE SEWER FLUSHING STRUCTURE
	WATER MAIN AUTO FLUSHER AND SAMPLING STATION
	STORM SEWER STRUCTURE
	STORM SEWER CURB INLET
	WATER SERVICE VALVE
	8" WATER SERVICE MAIN VALVE GATE
	FIRE HYDRANT
	WATER CAP AND BLOW OFF
	SANITARY SEWER VALVE
	STORM SEWER OUTLET
	2" LOW PRESSURE SANITARY SEWER
	8" WATER MAIN & SERVICE LINES
	STORM SEWER
	LOT LINES



MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

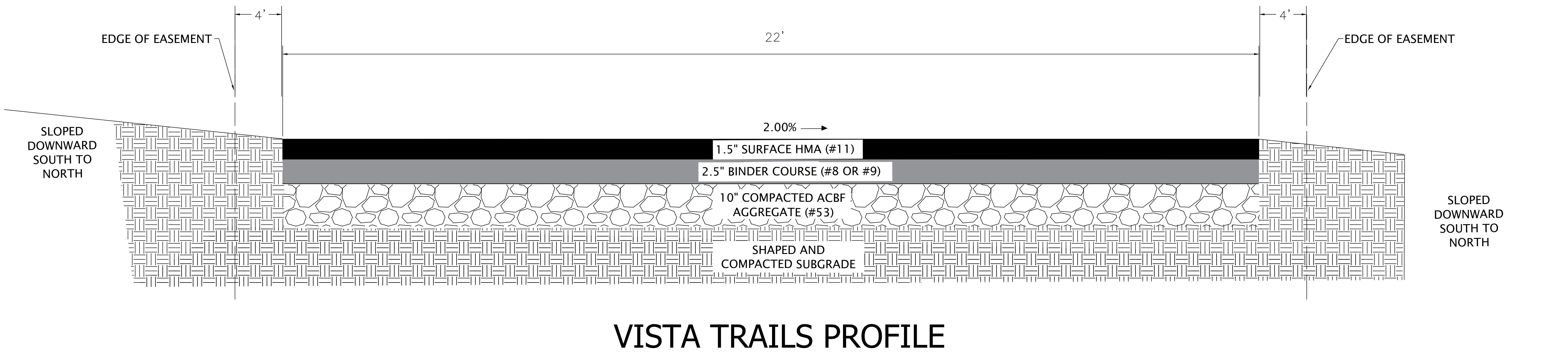
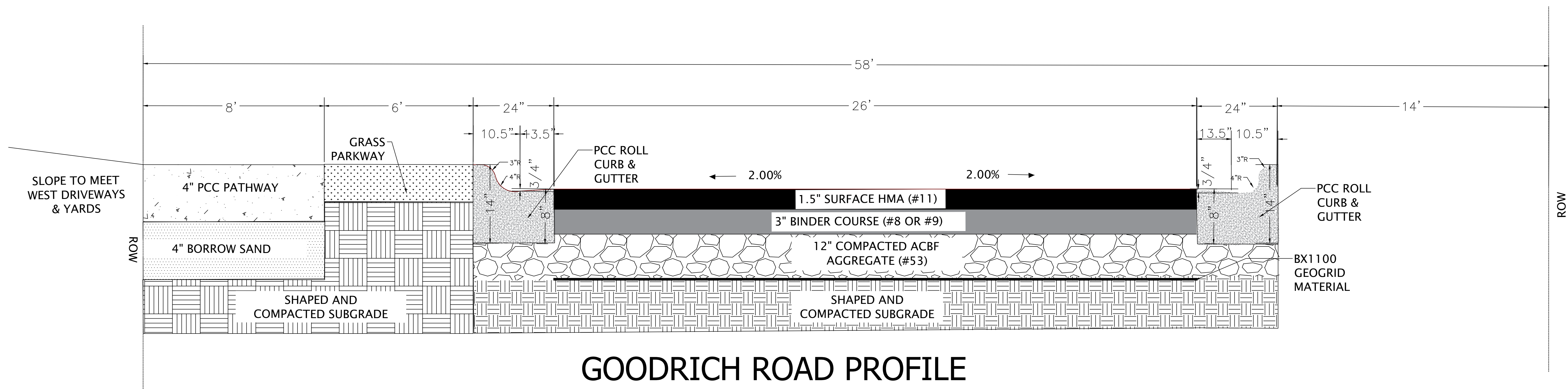
REVISIONS			
No.	Date	Description	Approved by

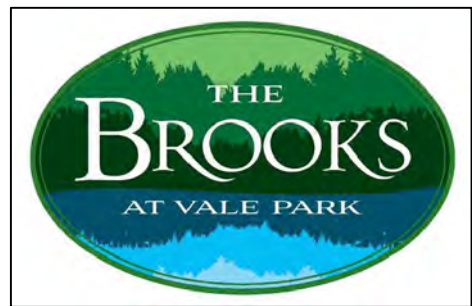
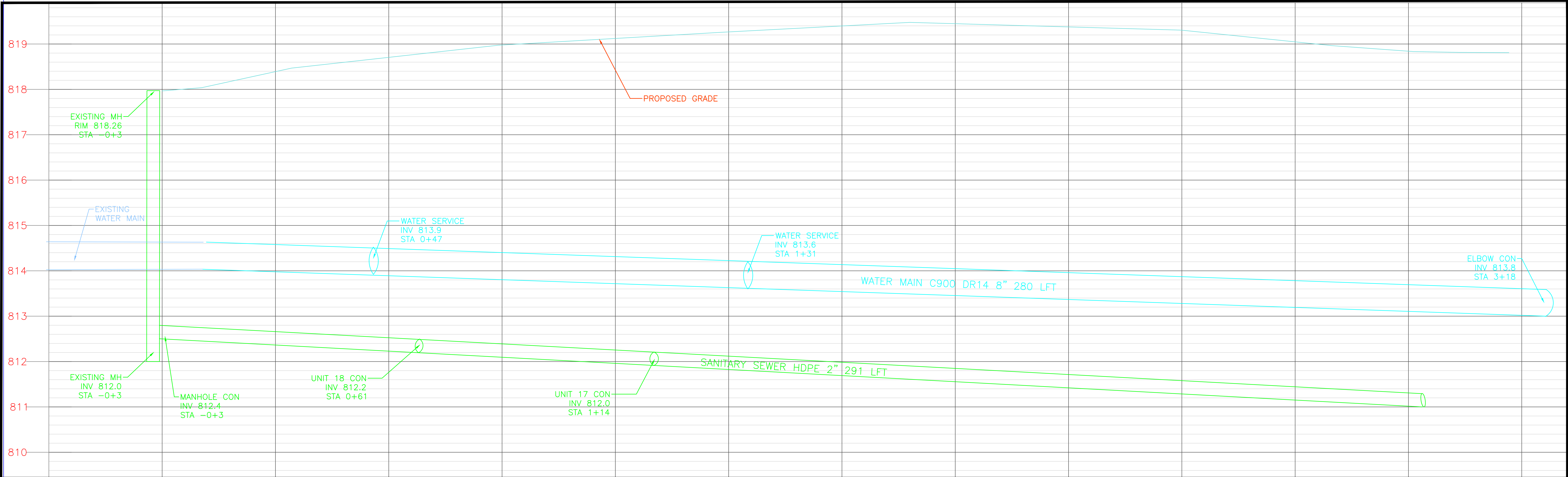
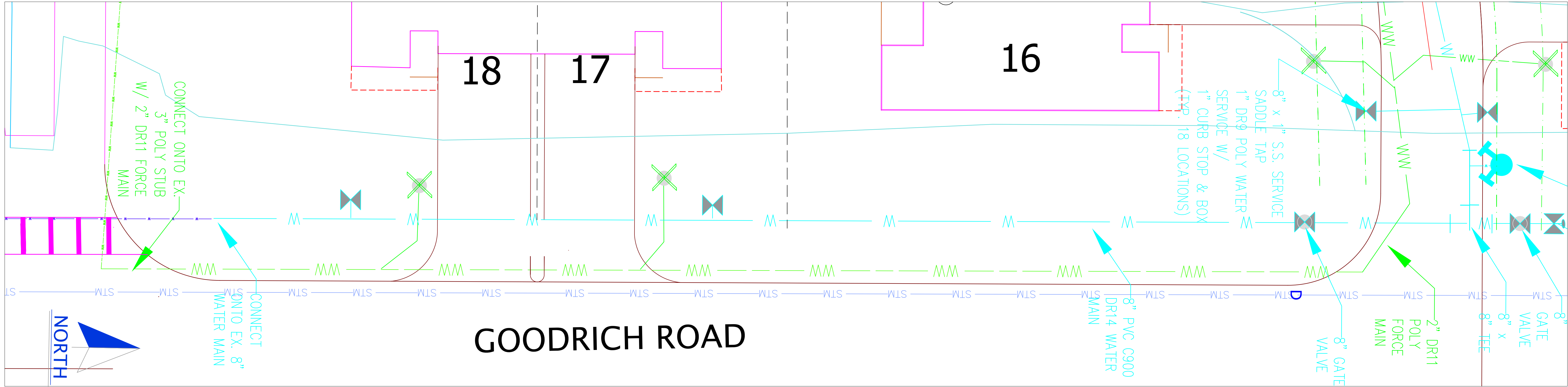


Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

VISTA TRAILS PAIRED VILLAS	
UTILITIES PLAN	

Scale:	1:30
Project No.	20-100
Sheet	Of
7	14



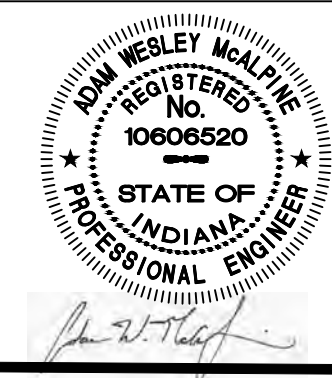


NOTE: VALPARAISO CITY UTILITIES (VCU)
HAS CAPACITY FOR EXPECTED INCREASE
IN SEWER, PER ORIGINAL BROOKS PUD



MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

REVISIONS				
No.	Date	Description	Approved by	

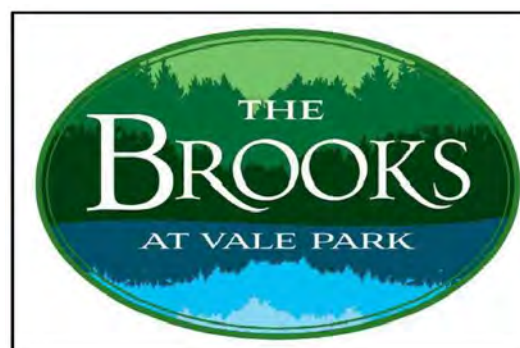
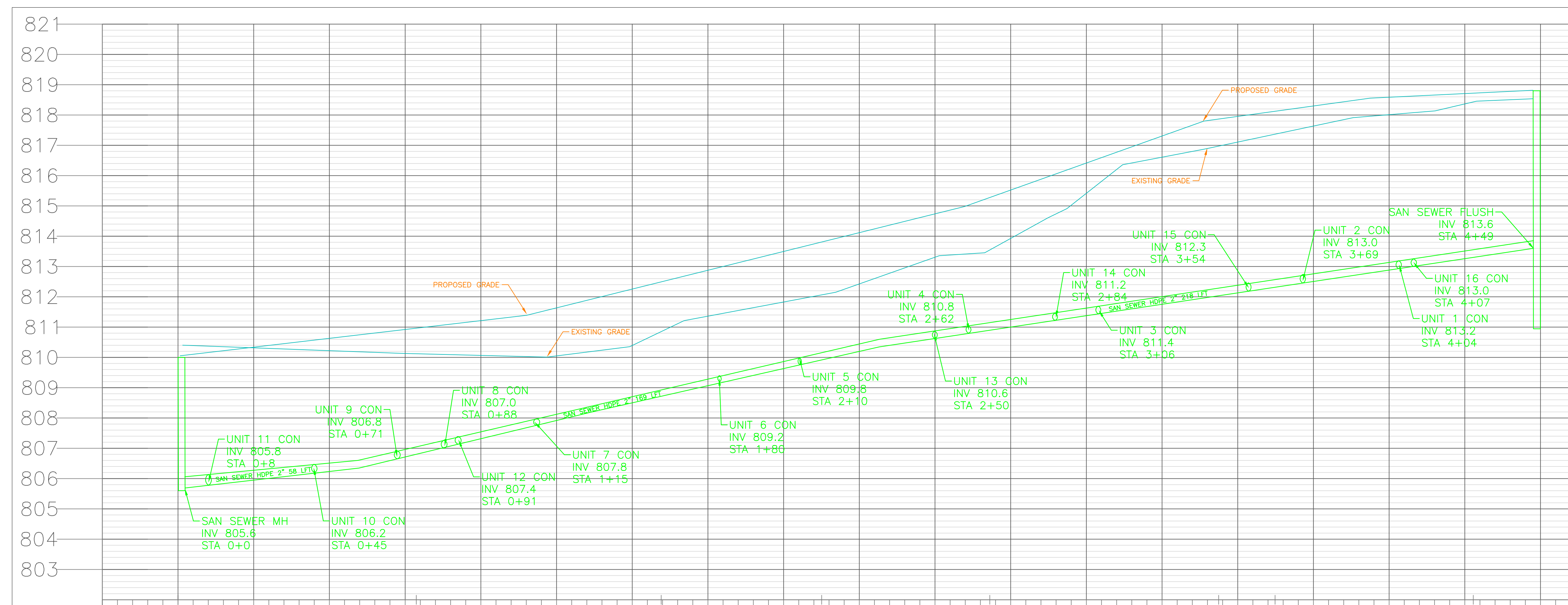
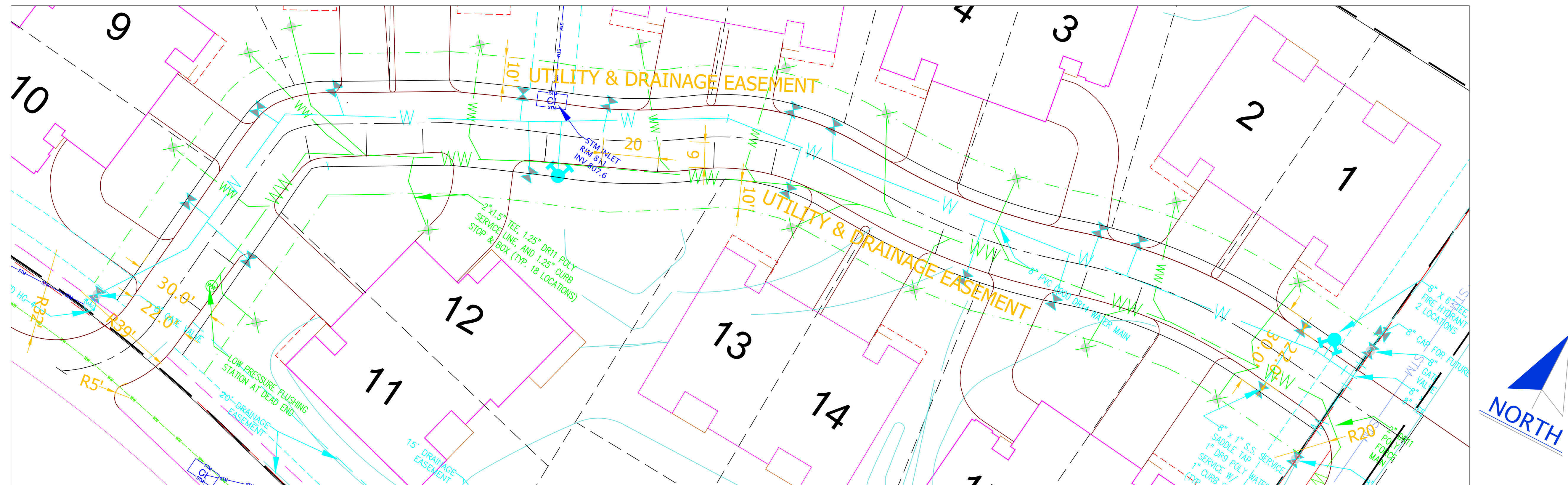


Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

VISTA TRAILS PAIRED VILLAS

SEWER AND WATER PROFILE:
GOODRICH ROAD

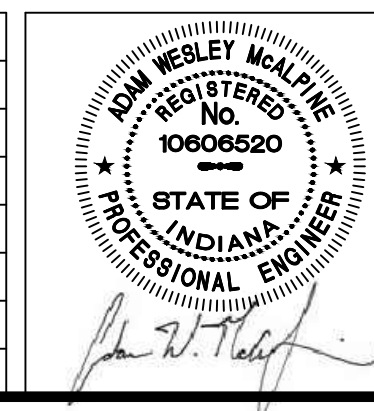
Vertical Scale:	1:2
Horizontal Scale:	1:10
Project No.	20-100
Sheet	Of
9	14



NOTE: VALPARAISO CITY UTILITIES (VCU)
HAS CAPACITY FOR EXPECTED INCREASE
IN SEWER, PER ORIGINAL BROOKS PUD

M
MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

REVISIONS				
No.	Date	Description	Approved by	

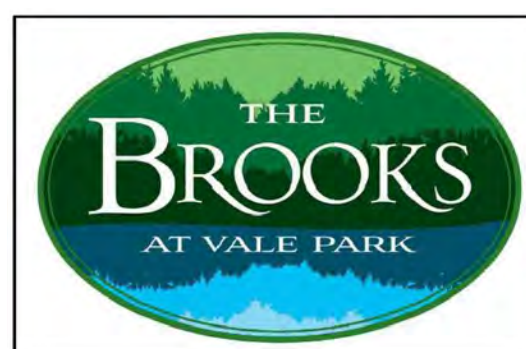
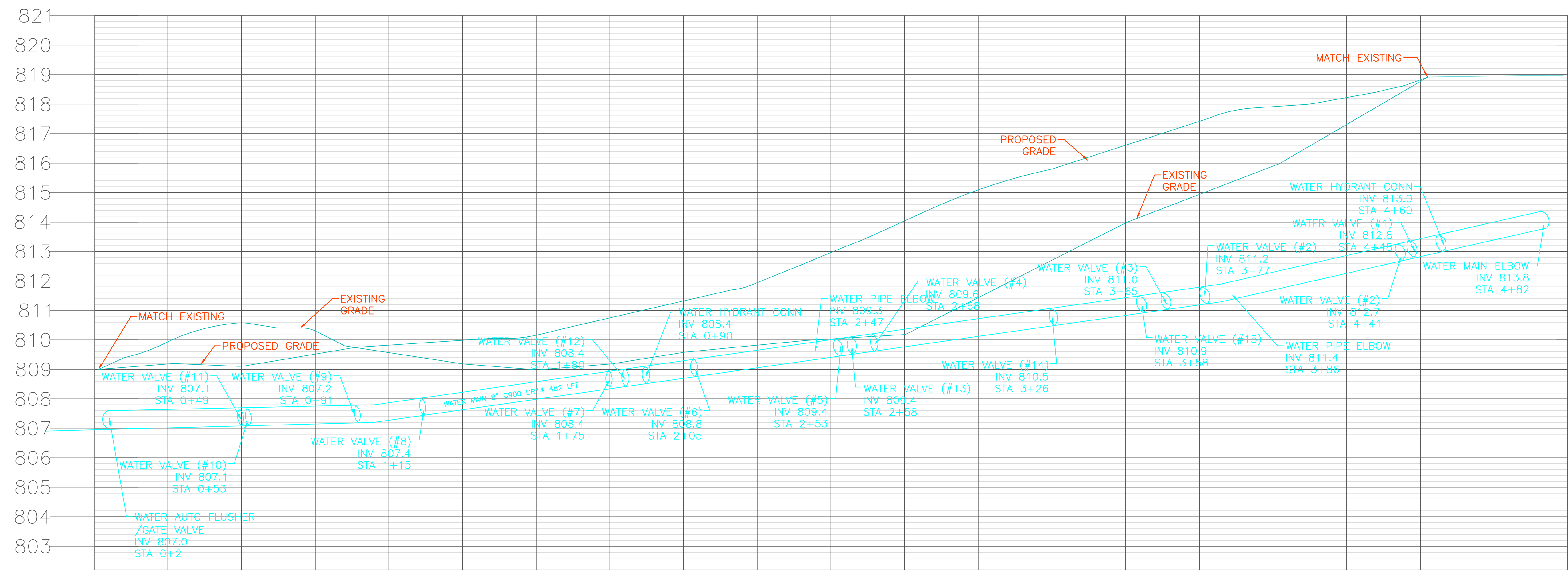
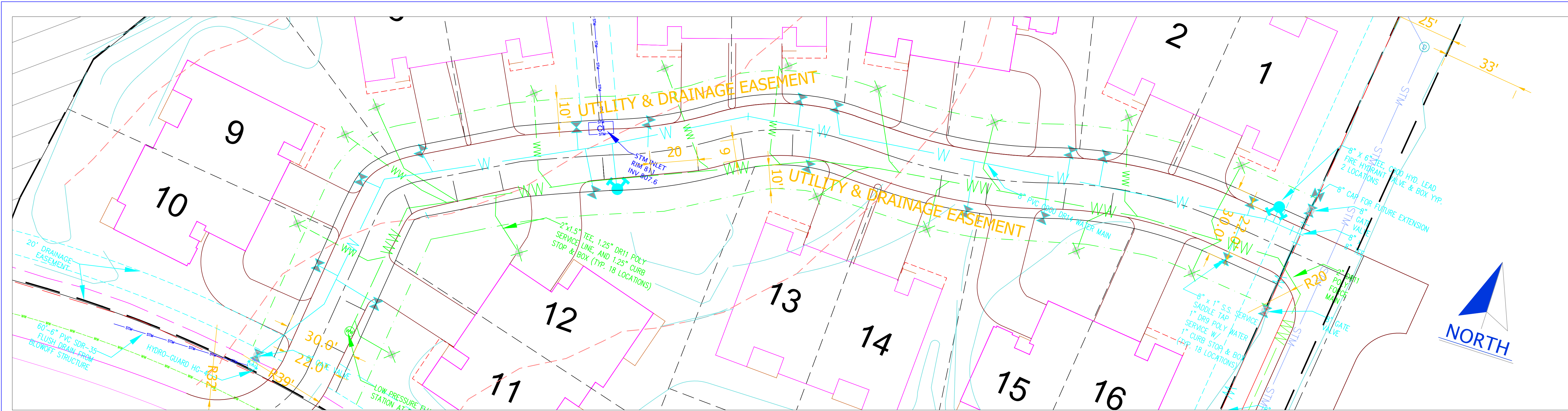


Design by
AM
Date
8/12/24
Drawn by
MJ
Reviewed by
AM

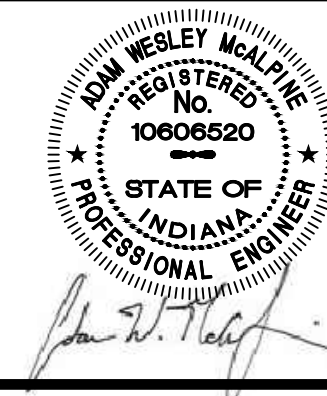
VISTA TRAILS PAIRED VILLAS

SEWER PROFILE:
VISTA TRAILS

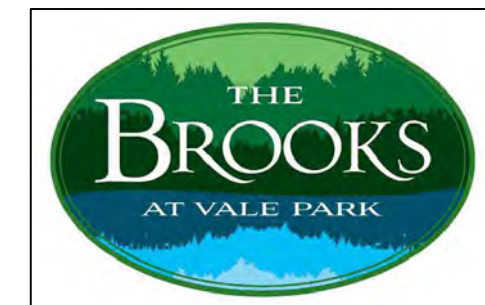
Vertical Scale: 1:2
Horizontal Scale: 1:10
Project No.
20-100
Sheet 10 Of 14



REVISIONS			
No.	Date	Description	Approved by



Design by AM	Date 8/12/24	VISTA TRAILS PAIRED VILLAS		Vertical Scale: 1:2
Drawn by MJ				Horizontal Scale: 1:10
Reviewed by AM		WATER MAIN PROFILE: VISTA TRAILS		Project No. 20-100
				Sheet 11
				Of 14



1. ALL PLASTIC PIPE WILL BE INSTALLED WITH CONTINUOUS TRACER TAPE INSTALLED 24 INCHES (2 FEET) ABOVE THE PIPE. THE MARKER TAPE WILL BE MARKED "SEWER" AND BE PLASTIC, NON-BIODEGRADABLE METAL CORE OR BACKING THAT CAN BE DETECTED BY A STANDARD METAL DETECTOR. TAPE WILL BE TERRA TPE "D" OR APPROVED EQUAL. IN ADDITION TO TRACER TAPE, INSTALL 14-GAUGE COATED COPPER WIRE WRAPPED AROUND THE PIPE, BROUGHT UP AND TIED OFF AT THE VALVE BOXES. TONING WIRE SPLICES AND CONNECTIONS TO ANODES WILL JOIN WITH MECHANICALLY AND ELECTRICALLY AND EMPLOY RESIN OR HEAT SHRINK TAPE INSULATION.
2. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF THE WORK AND BRING ANY DISCREPANCIES TO THE ATTENTION OF MARBACH-PALM, INC.
4. CONTRACTOR SHALL CONFIRM ALL MATERIAL SPECIFICATIONS AND TESTING REQUIREMENTS WITH THE CITY OF VALPARAISO UTILITIES PRIOR TO ORDERING AND INSTALLATION.
5. IF GROUND WATER IS ENCOUNTERED DURING THE SEWER OR WATER MAIN CONSTRUCTION, THE CONTRACTOR SHALL USE A FILTER BAG ON ANY Dewatering DISCHARGE TO RETAIN SEDIMENT.
- 5.1. SANITARY AND STORM SEWER SEPARATION REQUIREMENTS WITH RESPECT WATER MAINS ARE AS FOLLOWS:
 - 5.1.1. A MINIMUM HORIZONTAL SEPARATION OF TEN FEET SHALL BE MAINTAINED BETWEEN ALL SANITARY SEWER AND STORM SEWER SYSTEMS AND WATER MAIN LOCATIONS.
 - 5.1.2. A MINIMUM VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED WHEN SANITARY SEWER OR STORM SEWER CROSS UNDER WATER LINES (MEASURED FROM THE BOTTOM OF THE WATER LINE TO THE TOP OF THE SEWER).
 - 5.1.3. IF EITHER THE HORIZONTAL OR VERTICAL SEPARATION CANNOT BE MET, THE SEWER SHALL BE CONSTRUCTED OF TWO WATERWORKS GRADE MECHANICAL JOINT DUCTILE IRON PIPE OR ASTM D2241-96b SDR 21 PVC PRESSURE PIPE WITH COMPRESSION FITTINGS, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
 - 5.1.4. THE SEWER SHALL BE CONSTRUCTED SO THAT THE WATERWORKS GRADE PIPE EXTENDS A DISTANCE OF TEN FEET ON EACH SIDE OF THE WATER MAIN, AND SHALL BE CONSTRUCTED WITH ONE FULL LENGTH OF PIPE CENTERED ON THE WATER MAIN SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN
 - 5.1.5. THE SANITARY SEWER AND WATER MAIN MUST BE LAID ON SEPARATE TRENCH SHELVES.
 - 5.1.6. ALL SEPARATION REQUIREMENTS BOTH HORIZONTAL AND VERTICALLY SHALL BE IN ACCORDANCE 327 IAC 3.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL REQUIRED INSPECTIONS BY THE CITY OF VALPARAISO AND FOR PROVIDING NECESSARY "AS-BUILT" AND TESTING RESULTS.
7. CONTRACTOR SHALL PROVIDE MARBACH-PALM, INC. WITH (1) SET OF "AS-BUILT" ALONG WITH ALL TEST RESULTS.
8. ALL WORK SHALL BE PERFORMED TO THE REQUIREMENTS OF THE CITY OF VALPARAISO UTILITY REPRESENTATIVE.
9. THE DEVELOPER SHALL FLUSH THE SANITARY SEWER SYSTEM MONTHLY IN DEVELOPING AREAS UNTIL THE LOW PRESSURE SEWER SYSTEM HAS ADEQUATE OPERATING PRESSURE TO BE FULLY FUNCTIONAL. THE CITY UTILITY DEPT. SHALL DETERMINE WHEN THE DEVELOPER MAY END MONTHLY FLUSHING ACTIVITY.

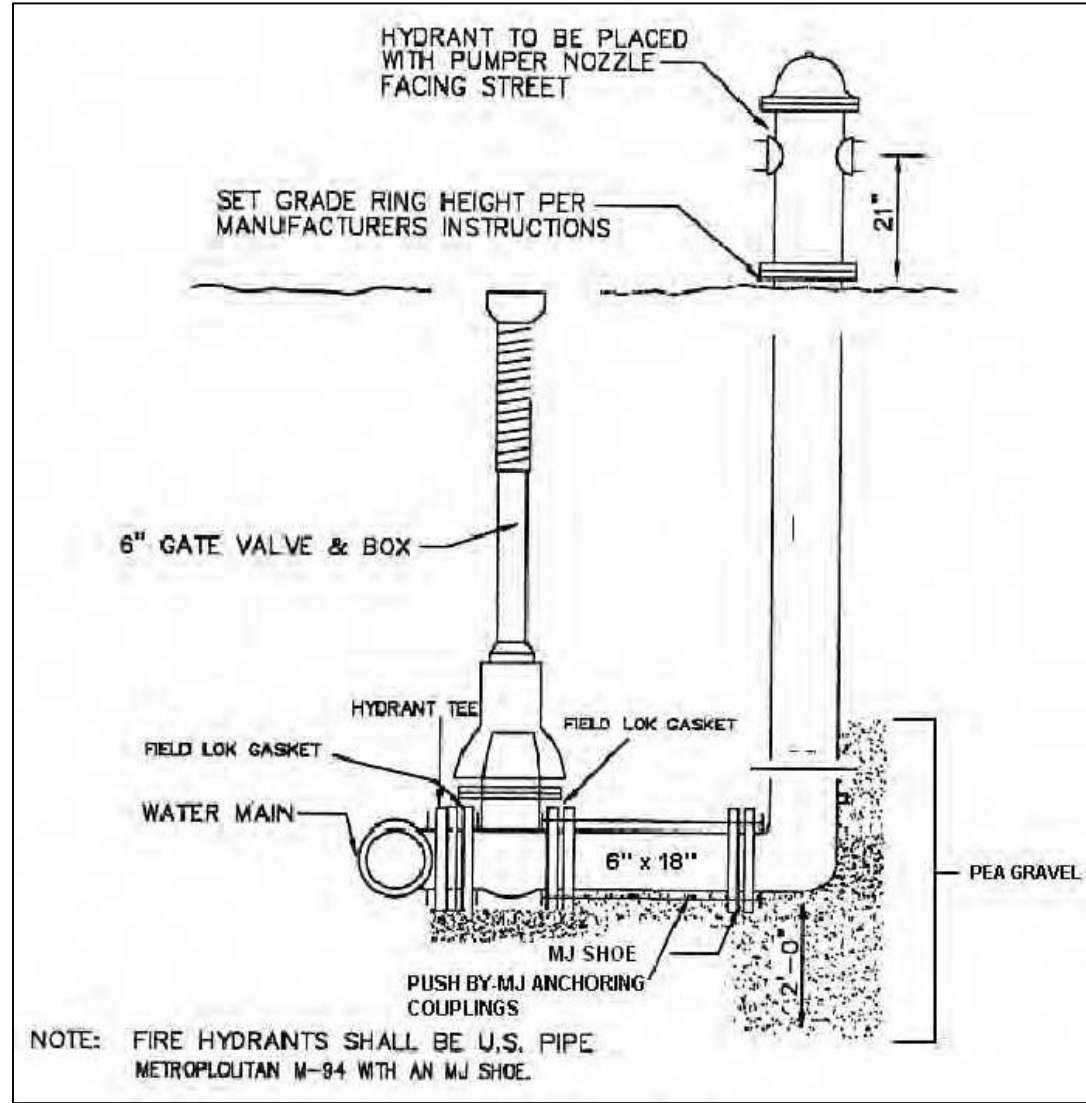


NOT TO SCALE



MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

R E V I S I O N S					Design by	Date	VISTA TRAILS PAIRED VILLAS	Scale:	
No.	Date	Description	Approved by		AM	8/12/24		NTS	
					Drawn by			Project No.	
					MJ			20-100	
					Reviewed by			Sheet	
					AM			Of	
							CONSTRUCTION DETAILS 1	13	14

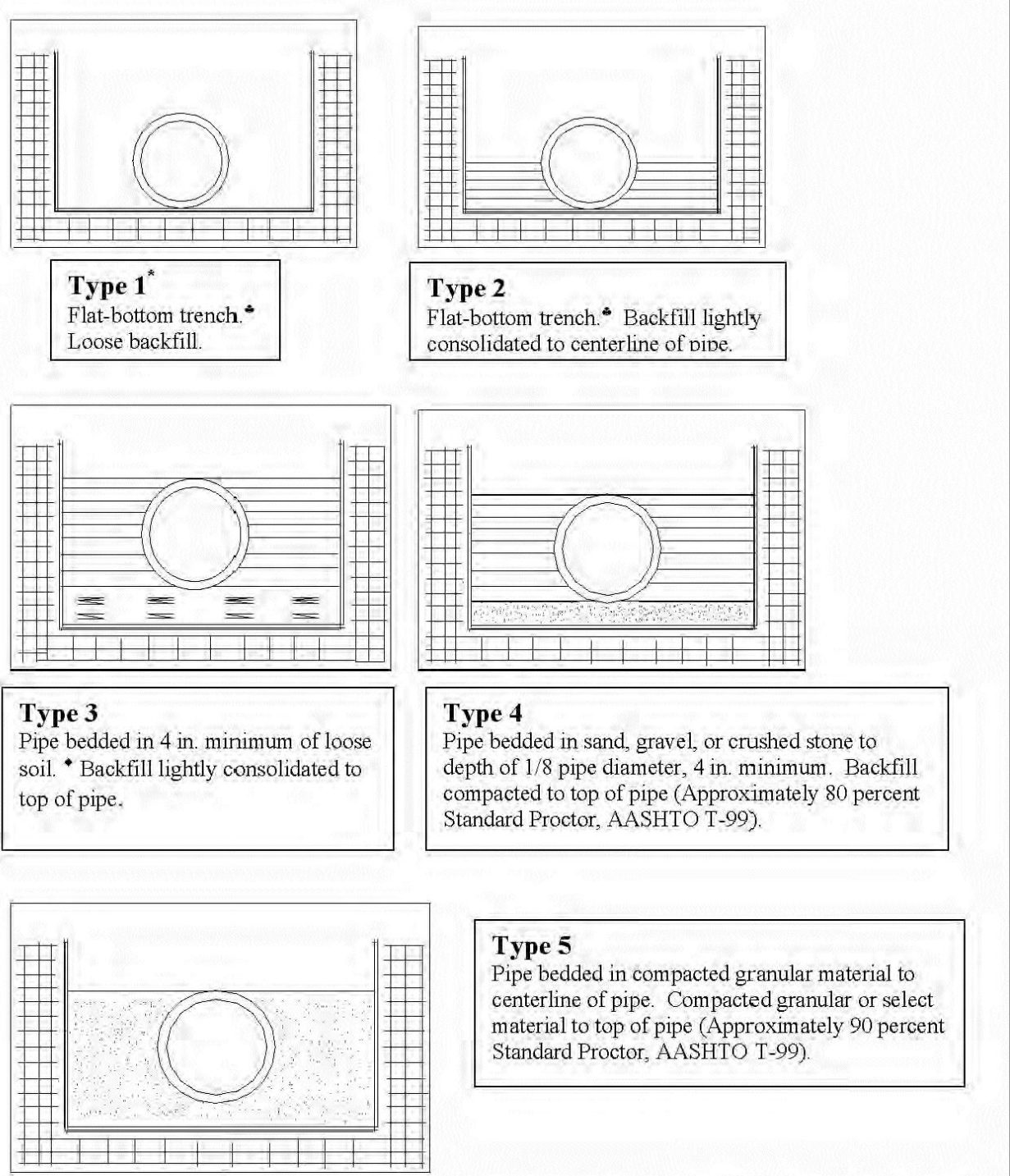


HYDRANT DRAINAGE:
TO PREVENT FREEZING OF THE HYDRANT BARREL IF IT WERE NOT DRAINED, A DRAINAGE PIT 2' X 2' X 2' SHALL BE EXCAVATED BELOW THE HYDRANT AND FILLED WITH COURSE GRAVEL OR CRUSHED STONE MIXED WITH SAND TO A DEPTH OF 6\"/>

HYDRANT DETAIL
NOT TO SCALE

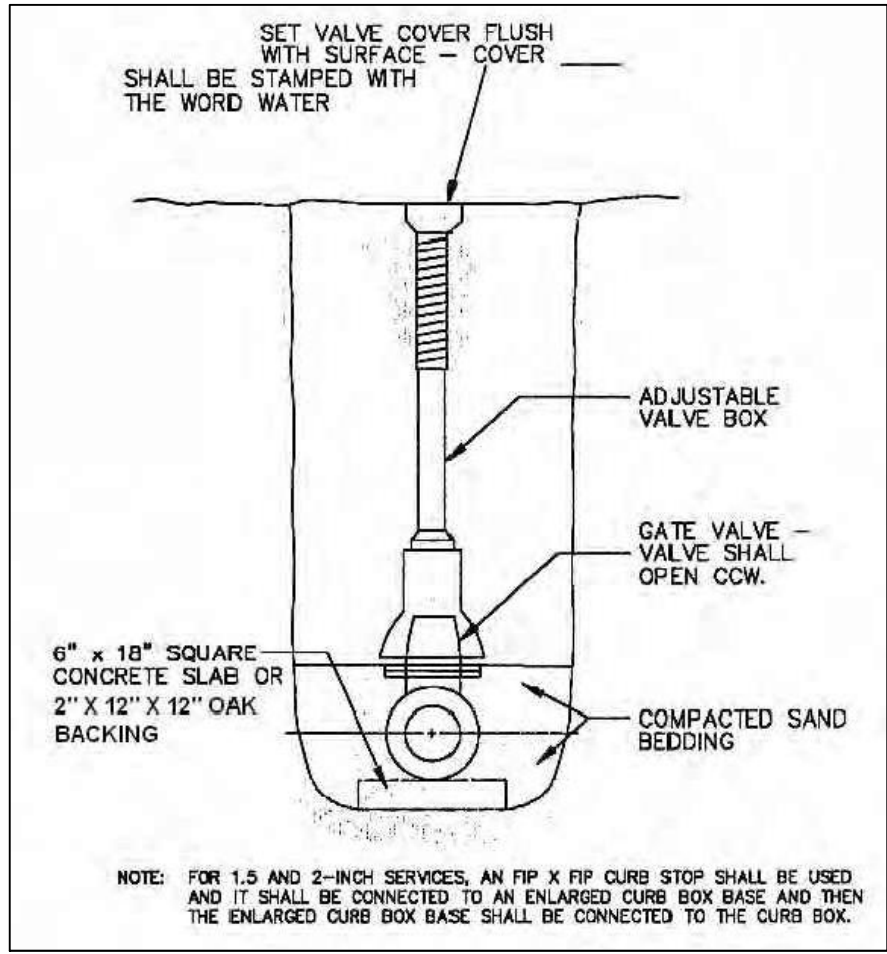
WATER MAIN CONSTRUCTION NOTES

- WATER MAIN SHALL BE LAID WITH A MINIMUM COVER OF 5'-0".
- NEW WATER MAIN SHALL BE PRESSURE TESTED, LEAKAGE TESTED, AND DISINFECTED IN ACCORDANCE WITH THE VALPARAISO CITY UTILITIES REQUIREMENTS. TESTING PROCEDURE SHALL BE AS PRESCRIBED BY AWWA STANDARD C600 AND DISINFECTION BY AWWA STANDARD C601.
- WATER MAIN TO BE CAST IRON PIPE CLASS 50. COMPACTED 3/4 INCH GRANULAR FILL MATERIAL SHALL BE USED 6\"/>

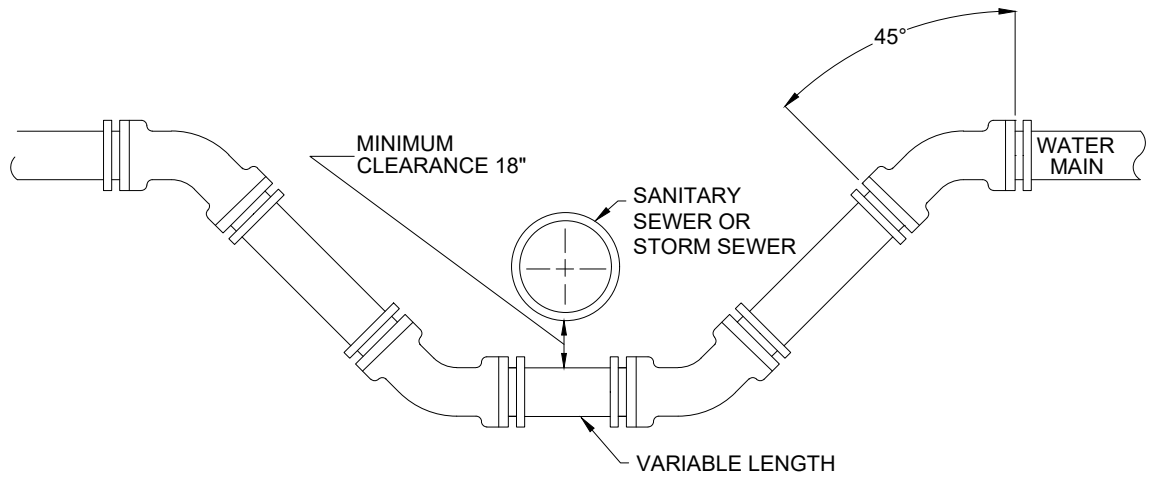


* For 30-in. and larger pipe, consideration should be given to the use of laying conditions other than type 1.
* "Flat-bottom" is defined as undisturbed earth.
* "Loose soil" or "select material" is defined as native soil excavated from the trench, free of rocks, foreign materials, and frozen earth.

PIPE LAYING CONDITIONS
NOT TO SCALE

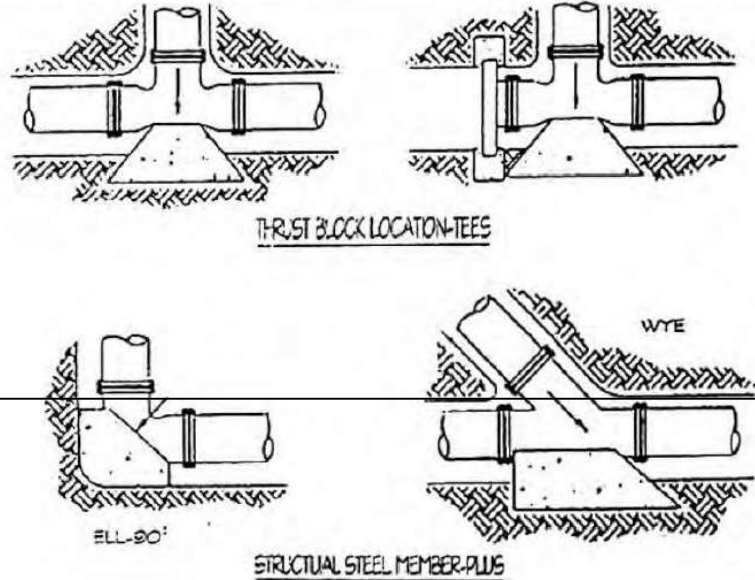


VALVE/CURB BOX DETAIL
NOT TO SCALE



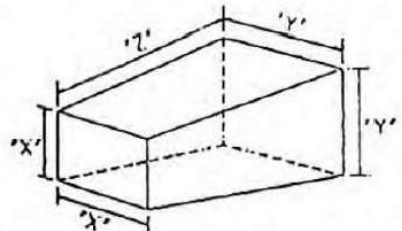
WATER MAIN DEFLECTION DETAIL
NOT TO SCALE

PIPE SIZE	BEND:	THRUST @ CAPACITY:	BEARING CAPACITY:	REQ'D AREA SQ'D:	SIZE OF CONC BUTTRESS:	YDS. OF CONC:
6"	90° 45° 11.25° 22.5°	6400# 3500# 900# 1800#	1000 PSF	6.40 3.50 0.90 1.80	"X"~2'6" "Y"~3'0" "Z"~3'0" 3'0" 2'6" 2'6" 1'0" 1'6" 2'0" 1'6" 2'0" 2'3"	0.80 0.47 0.12 0.24
8"	90° 45° 11.25° 22.5°	11,500# 6200# 3200# 1600#		11.50 6.20 3.20 1.60	"X"~3'0" "Y"~3'6" "Z"~4'0" 1'6" 3'0" 4'0" 1'6" 2'3" 3'0" 1'6" 2'0" 2'3"	1.54 0.84 0.43 0.22
12"	90° 45° 11.25° 22.5°	26,000# 15,000# 7100# 3500#		26.00 15.00 7.10 3.50	"X"~4'0" "Y"~5'0" "Z"~4'0" 3'0" 4'3" 4'0" 2'0" 3'6" 2'6" 2'0" 2'6" 2'6"	3.50 2.02 0.96 0.47
16"	90° 45° 11.25° 22.5°	42,000# 25,000# 13,000# 6000#		42.00 25.00 13.00 6.00	"X"~5'0" "Y"~7'0" "Z"~4'6" 3'6" 5'0" 4'0" 3'0" 4'0" 3'6" 2'6" 3'0" 3'0"	5.65 3.38 1.75 0.82
20"	90° 45° 11.25° 22.5°	65,000# 38,000# 19,000# 9100#		65.00 38.00 19.00 9.10	"X"~6'0" "Y"~8'0" "Z"~4'3" 5'0" 6'6" 4'3" 3'0" 5'0" 4'0" 2'6" 3'0" 3'0"	8.73 5.10 2.56 1.22
36"	90° 45° 11.25° 22.5°	200,000# 130,000# 60,000# 29,000#		200.00 130.00 60.00 29.00	"X"~8'0" "Y"~10'0" "Z"~7'3" 8'0" 10'0" 9'6" 4'0" 8'6" 5'0" 4'0" 6'0" 5'0"	26.90 17.50 8.20 3.70



NOTE:
CONTRACTOR TO LOCATE END OF TAP (SERVICE BOX)

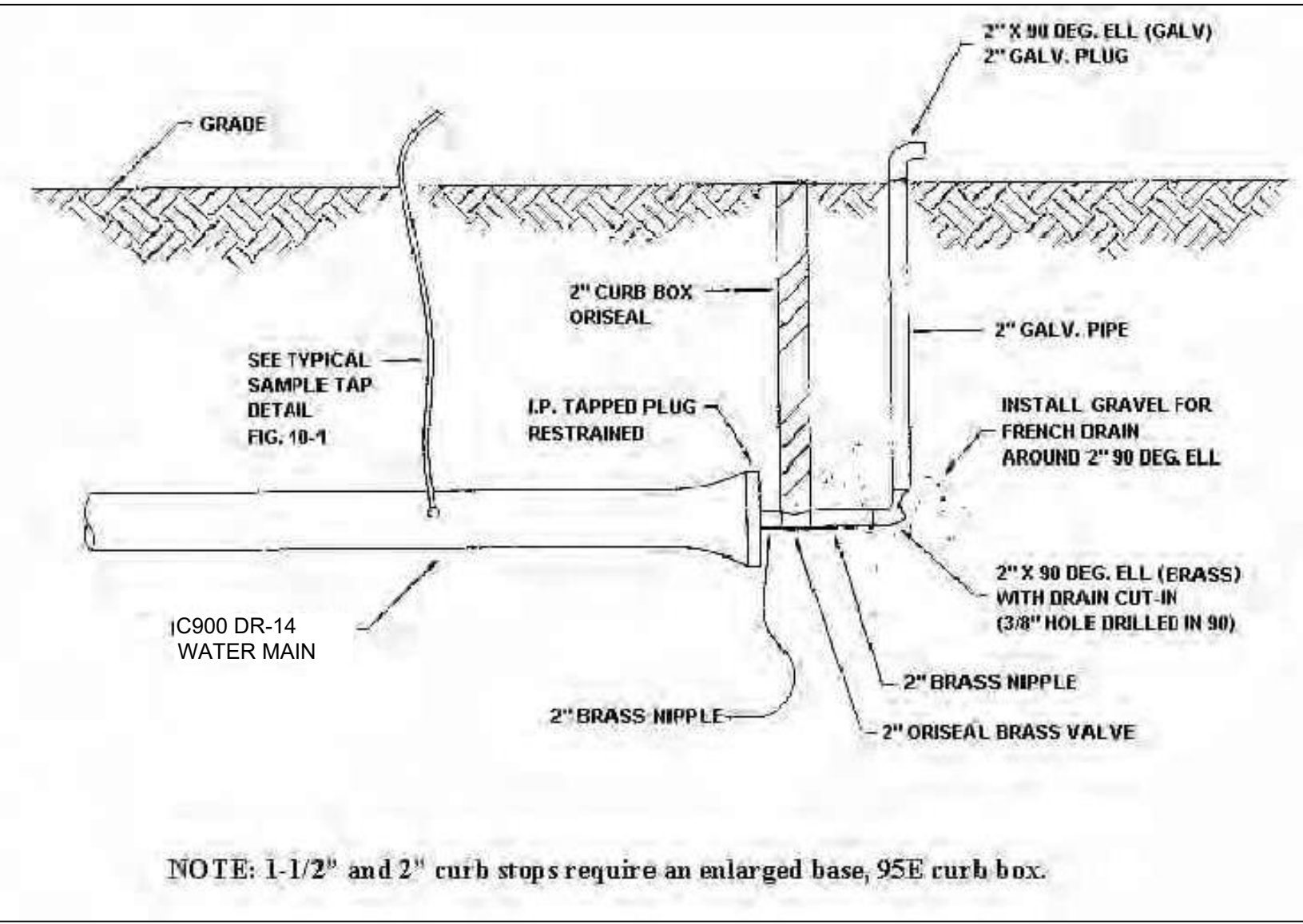
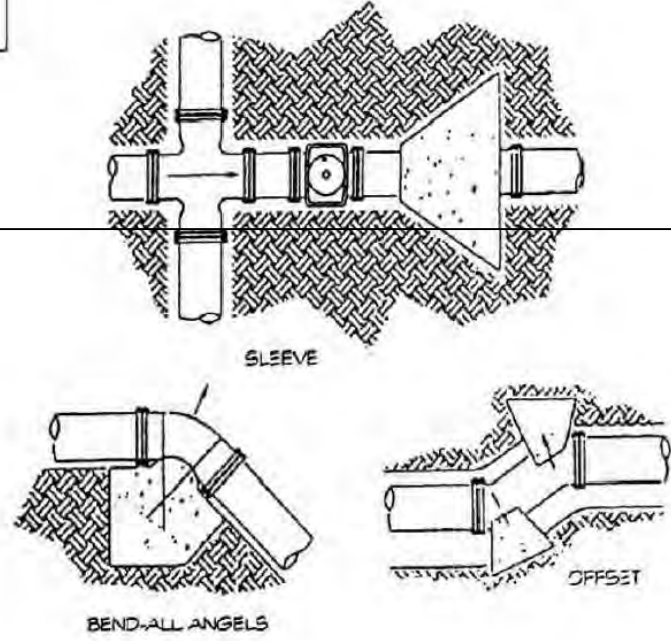
THRUST BLOCKING



NOTE:

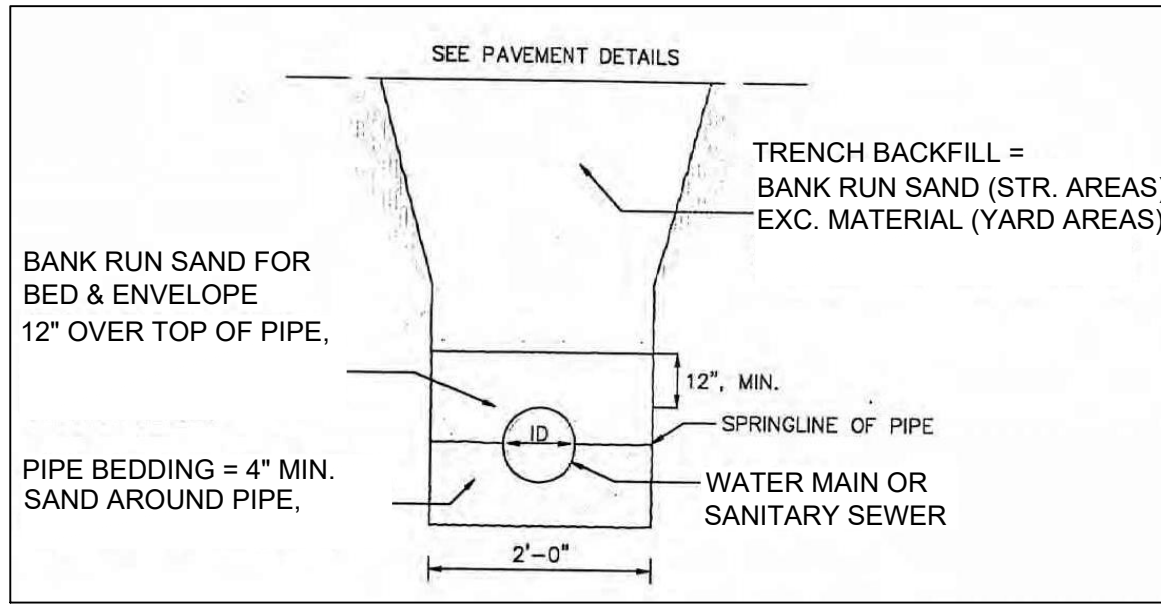
Concrete shall be kept a sufficient distance from joints for removal of all joint accessories including bolts, and shall be of a mix not leaner than 1 part cement to 2 1/2 parts sand and 5 parts stone and having a compressive strength of not less than 2000 psi after 28 days.

Polyethylene installed between fitting and the trust

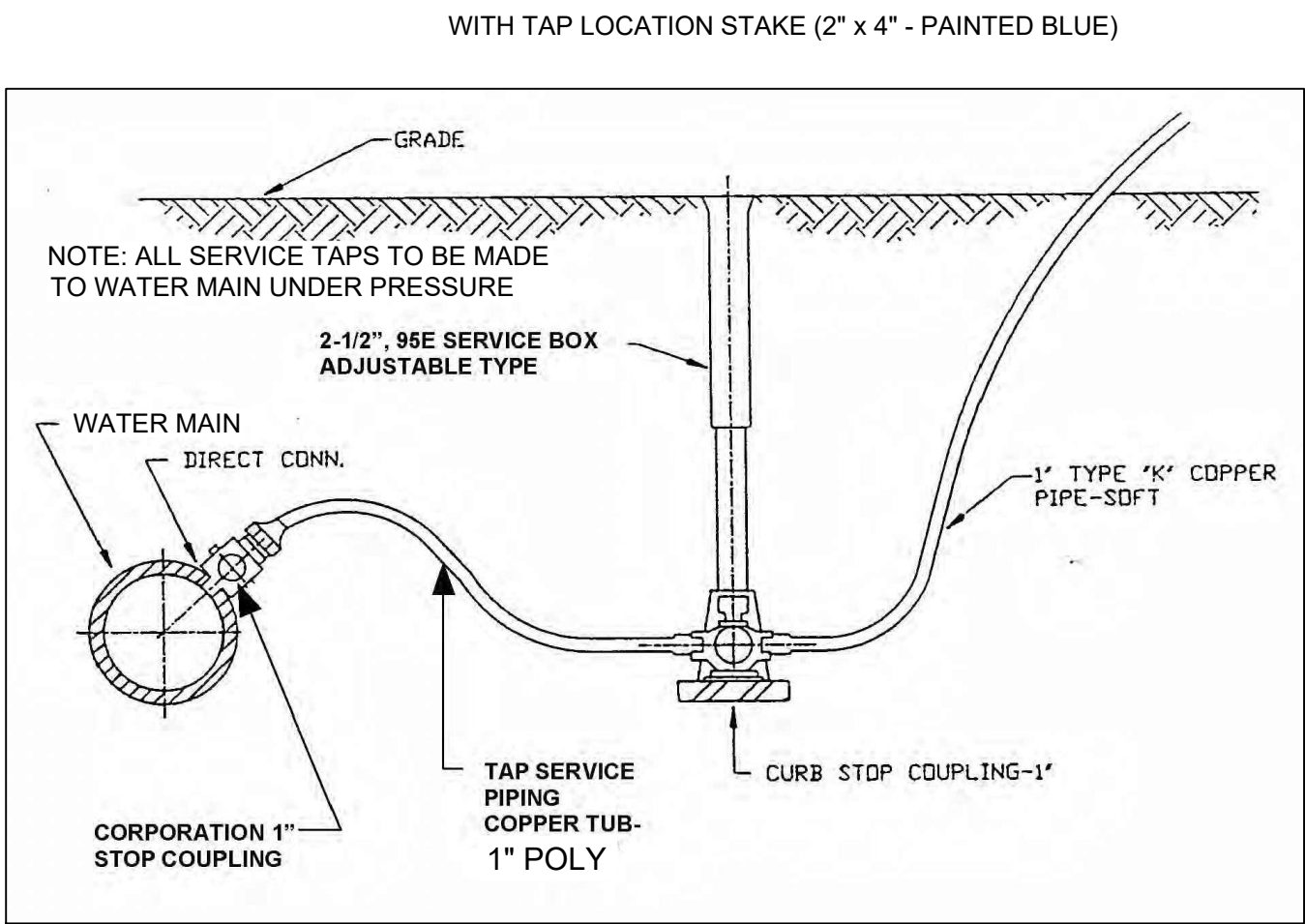


NOTE: 1-1/2" and 2" curb stops require an enlarged base, 95E curb box.

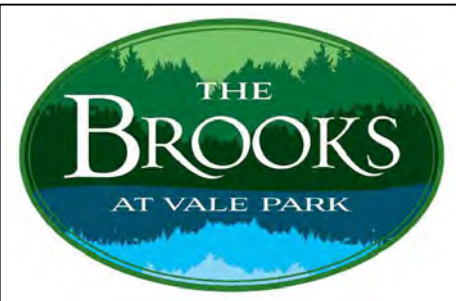
TEMPORARY FLUSH-OUT INSTALLATION DETAIL
NOT TO SCALE



TYPICAL TRENCH DETAIL
NOT TO SCALE

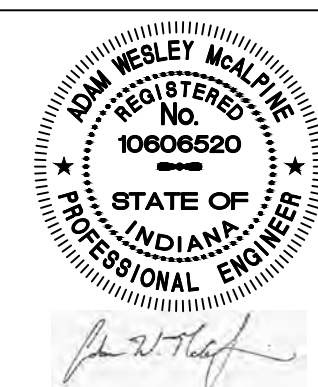


TYPICAL 1" TYPE "K" COPPER PIPE
SAMPLE TAP DETAIL
NOT TO SCALE



MCALPINE CONSULTING LLC
398 East 400 North
Valparaiso, IN 46383
Phone: 219.252.9647
E-Mail: mcalpine.consulting@yahoo.com

REVISIONS				
No.	Date	Description	Approved by	



Design by	Date
AM	8/12/24
Drawn by	
MJ	
Reviewed by	
AM	

VISTA TRAILS PAIRED VILLAS

CONSTRUCTION DETAILS 2

Scale:	NTS
Project No.	20-100
Sheet	Of
14	14

The Brooks: Vista Trails, Valparaiso, IN

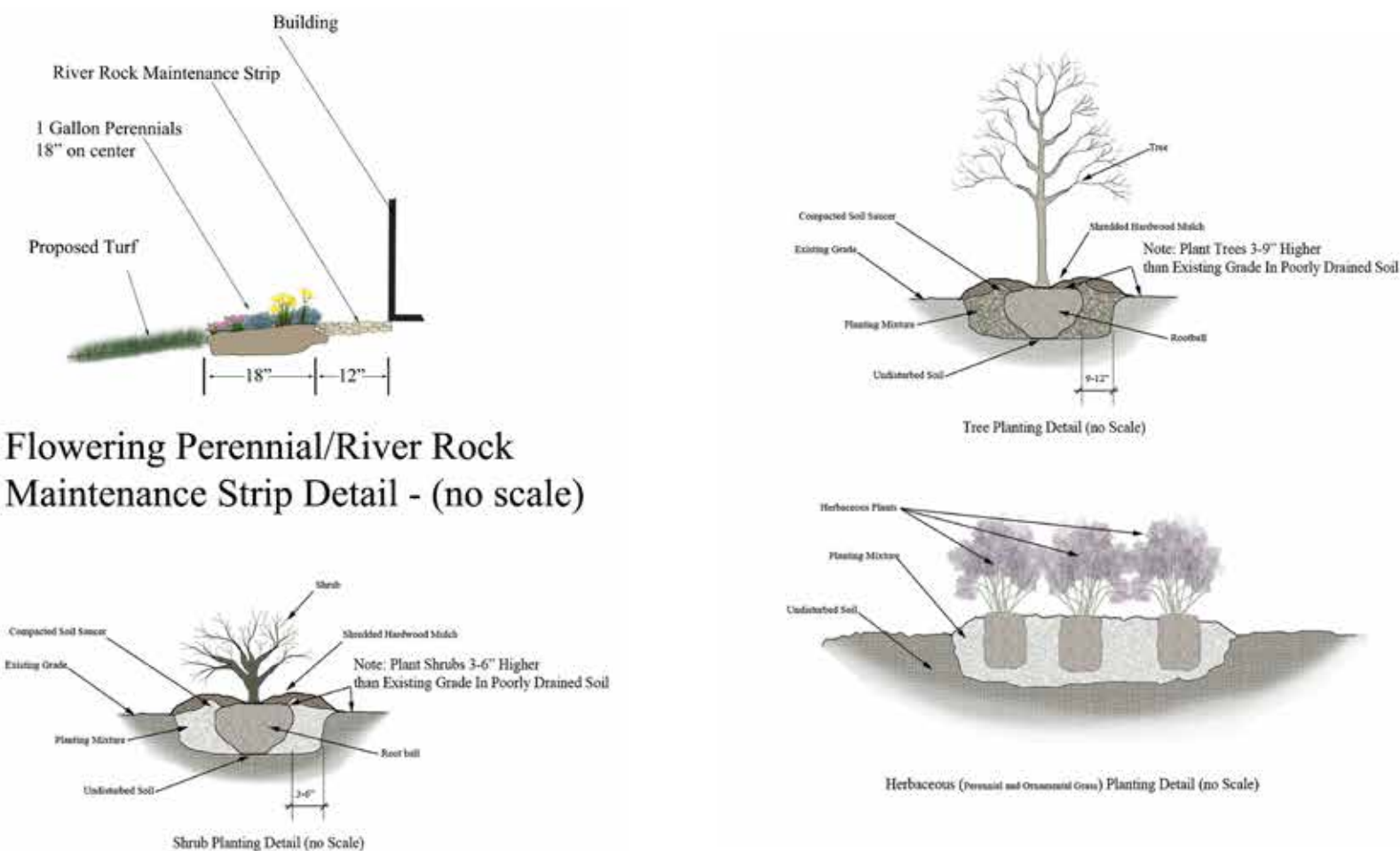
Landscape Plan



Ordinance Requirements

Brooks Landscape Calculations: Vista Trails					
Street Bufferyards					
Road	LF	Large Trees	Small Trees	Shrubs	
Vale Park	416	4	8	71	
Provided		4	8	71+	
Street Bufferyards					
Road	LF	Large Trees	Small Trees	Shrubs	
Goodrich	199.5	2	4	34	
Provided		2	4	34+	
Street Trees					
Road	LF	Approx. Street Trees			
Vista Trails	250	6.25 / each side		14	
Goodrich	199.5	5			
TOTAL	450	19			
Provided		19			
Open Space Estimate using UR Zone					
	Acres	Large Trees	Small Trees	Shrubs	
Total	0.22	2	3	15	
Provided		2	3	15	

Planting Details



Plant Schedule

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
TREES							
	STREET TREES					21	
ACE	Acer x freemanii 'Jeffersred' TM	Autumn Blaze Freeman Maple	2.5" Cal.	B&B			
CEL	Celtis occidentalis	Common Hackberry	2.5" Cal.	B&B			
GLE	Gleditsia triacanthos	Honey Locust	2.5" Cal.	B&B			
GYM	Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	2.5" Cal.	B&B			
NYS	Nyssa sylvatica	Black Gum	2.5" Cal.	B&B			
QBC	Quercus bicolor	Swamp White Oak	2.5" Cal.	B&B			
QCC	Quercus coccinea	Scarlet Oak	2.5" Cal.	B&B			
QUI	Quercus imbricaria	Shingle Oak	2.5" Cal.	B&B			
QMC	Quercus macrocarpa	Burr Oak	2.5" Cal.	B&B			
QMB	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	B&B			
TLA	Tilia americana	American Linden	2.5" Cal.	B&B			
TCO	Tilia cordata	Littleleaf Linden	2.5" Cal.	B&B			
ULM	Ulmus americana	American Elm	2.5" Cal.	B&B			
	UNDERSTORY TREES					15	
AAM	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	4-8'	B&B			
CAR	Carpinus caroliniana	American Hornbeam	4-8'	B&B			
CCM	Cercis canadensis	Eastern Redbud Multi-trunk	4-8'	B&B			
CMS	Cornus mas	Cornelian Cherry	4-8'	B&B			
HMV	Hamamelis vernalis	Ozark Witchhazel	3-5'	B&B			
VBN	Viburnum lentago	Nannyberry	3-5'	B&B			
VIBL	Viburnum prunifolium	Blackhaw Viburnum	3-5'	B&B			
VRH	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Lantanaphyllum Viburnum	3-5'	B&B			
	SHADE TREES					9	
ACE	Acer x freemanii 'Jeffersred' TM	Autumn Blaze Freeman Maple	2.5" Cal.	B&B			
CAT	Catalpa speciosa	Northern Catalpa	2.5" Cal.	B&B			
CLO	Celtis occidentalis	Common Hackberry	2.5" Cal.	B&B			
GLE	Gleditsia triacanthos	Honey Locust	2.5" Cal.	B&B			
NY2	Nyssa sylvatica	Black Gum	4-8'	B&B			
QUI	Quercus imbricaria	Shingle Oak	2.5" Cal.	B&B			
QMC	Quercus macrocarpa	Burr Oak	2.5" Cal.	B&B			
QMB	Quercus muehlenbergii	Chinkapin Oak	2.5" Cal.	B&B			
QUE	Quercus rubra	Red Oak	2.5" Cal.	B&B			
TLA	Tilia americana	American Linden	2.5" Cal.	B&B			
TCO	Tilia cordata	Littleleaf Linden	2.5" Cal.	B&B			
ULM	Ulmus americana	American Elm	2.5" Cal.	B&B			
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
SHRUB AREAS							
	BUFFERYARD SHRUBS					452 sf	
SCA3	Sambucus canadensis	Elderberry	5 gal.	Pot	72" o.c.	14	
ARO AB2	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	5 gal.	Pot	72" o.c.	14	
ARO MLN	Aronia melanocarpa	Black Chokeberry	5 gal.	Pot	72" o.c.	14	
COR GR2	Cornus racemosa	Gray Dogwood	5 gal.	Pot	72" o.c.	14	
COR RE6	Cornus sericea	Red Twig Dogwood	5 gal.	Pot	72" o.c.	14	
ILE W14	Ilex verticillata	Winterberry	5 gal.	Pot	72" o.c.	14	
VIB MUF	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	5 gal.	Pot	72" o.c.	14	
VIB LEN	Viburnum lentago	Nannyberry	5 gal.	Pot	72" o.c.	14	
VIB RHY	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Lantanaphyllum Viburnum	5 gal.	Pot	72" o.c.	14	
HAM	Hamamelis virginiana	Witch Hazel	5 gal.	Pot	72" o.c.	14	
	OPEN SPACE SHRUBS					191 sf	
AR1	Aronia melanocarpa	Low Scape Hedger Black Chokeberry	3 gal.	Pot	17% @ 36" o.c.	3	
IVS2	Itea virginica	Virginia Sweetspire	3 gal.	Pot	17% @ 36" o.c.	3	
VDA2	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	3 gal.	Pot	16% @ 48" o.c.	3	
ARO AB2	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	5 gal.	Pot	16% @ 48" o.c.	3	
ILE W14	Ilex verticillata	Winterberry	5 gal.	Pot	17% @ 48" o.c.	3	
VIB RHY	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Lantanaphyllum Viburnum	5 gal.	Pot	17% @ 48" o.c.	3	

NOTE: Plant availability subject to nursery stock inventory. Appropriate substitution will be applied in the event that these plants are unavailable.



PETITION TO VALPARAISO PLAN COMMISSION

This application is being submitted for (Check all that apply):

- ☐ To Rezone a Property from _____ to _____
- ☐ To Approve a Primary Plat
- ☐ To Approve a Secondary Plat
- ☐ To Approve a Planned Unit Development (PUD)
- ☐ To Approve a Planned Unit Development (PUD) Amendment
- ☐ To Approve a Minor Subdivision (public notice required post-decision)
- ☐ To Approve a Plat Amendment or Replat (public notice required post-decision)
- ☐ To Appeal the Decision of the Plat Committee
- ☒ Other: PUD SUBSTANTIAL ALTERATION

For Office Use Only:

Petition #:

Application Filing Fee:

Date Filed:

SEP 24 2024

Meeting:

[Signature]

Clerk-Treasurer

SUBJECT PROPERTY INFORMATION

TYPE OR PRINT IN INK

Property Address:

2701/2703 OLD OAK DRIVE

Subject Property fronts on the WEST side

between (streets) LINCOLN DRIVE &
WINDING BROOK DRIVE

Description of Location of Property:

LOTS E-60 & E-96

Zoning District (Current): PUD

Zoning District (Proposed): PUD

Zoning of Adjacent Properties:

North: PUD South: SR

East: PUD West: PUD

Parcel/Tax Duplicate Number(s):

E60 64-09-11-377-065.000-004

E96 64-09-11-353-001.000-004

Present Use of Property:

VACANT / SINGLE FAMILY
RESIDENTIAL LOT

Subdivision (If Applicable):

THE BROOKS PUD
@ VALE PARK, PHASE 2

Proposed Use of Property:

SINGLE FAMILY RESIDENTIAL

Dimensions of Property: Front: 78' Depth: 403'

Property Area (sq. ft./acres): 1.332⁺ ACRES

PETITIONER INFORMATION

Applicant Name: TOM & NICOLE KRUEGER
THE BROOKS LAND, LLC
46 WILLIAM FERNBERG, ESQ
Phone: 219-771-0155
Email: bill@ferngrenlaw.com

Address: FERNGREN LAW OFFICES, LLC
570 VALE PARK ROAD
SUITE 2
VALPARAISO, IN 46335

PROPERTY OWNER INFORMATION

Applicant Name: SAME AS ABOVE
Phone: _____
Email: _____

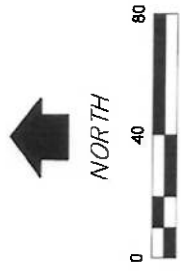
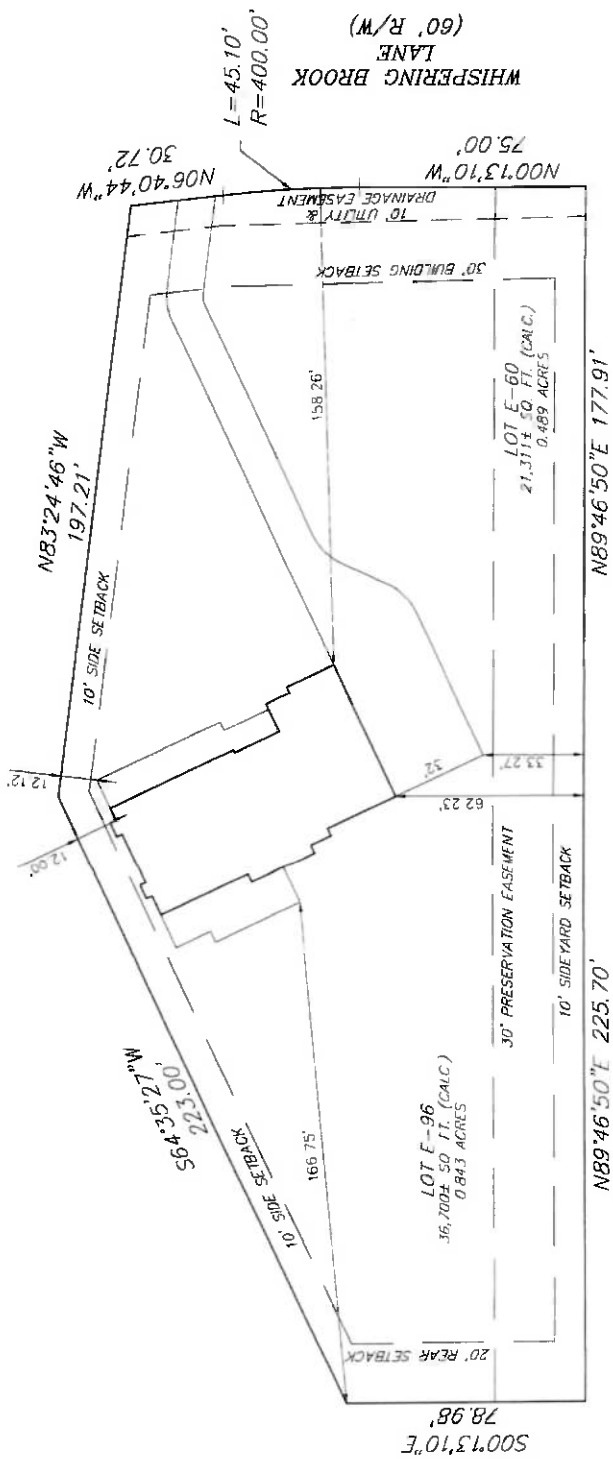
~~Address:~~
KRUEGER AS TO Lot E96
THE BROOKS LAND, LLC AS TO Lot E60

LEGAL DESCRIPTION OF SUBJECT PROPERTY: (EXHIBIT NO. _____)

Lot E60 AND Lot E96 IN THE BROOKS AT VALE PARK
PHASE 2, AS PER PLAT THEREOF, RECORDED IN THE
OFFICE OF THE RECORDER OF PORTER COUNTY, INDIANA.

PROPOSED VARIANCES OR WAIVERS: (EXHIBIT NO. _____)

PROPOSED LEGAL DESCRIPTION:
Lot E60/E96 COMBINED



PRELIMINARY
 DATE: SEP 23 2024

DISCLAIMER
 DUNELAND MAKES NO REPRESENTATIONS CONCERNING
 SOIL CONDITIONS AND DUNELAND IS NOT RESPONSIBLE
 FOR ANY LIABILITY THAT MAY ARISE OUT OF THE
 MAKING OR FAILURE TO MAKE SOIL SURVEYS OR
 SUB-SURFACE SOIL TEST, OR GENERAL SOIL TESTING.
 THIS DRAWING IS NOT INTENDED
 TO BE REPRESENTED AS A RETRACEMENT
 OR ORIGINAL BOUNDARY SURVEY.
 A ROUTE SURVEY, OR A SURVEY FOR
 LOCATION REPORT

PRELIMINARY LAYOUT THE BROOKS - LOTS 60 & 96

REVISIONS	BY	DATE
1		9/23/2024
		SCALE: 1" = 40'
		DRAWN: TWI / DGI
		CHECKED: 3/23/08G
		DATE: 9/23/2024

DUNELAND GROUP
 ENGINEERING & SURVEYING
 1498 POPE COURT
 CHESTERTON, INDIANA 46304
 PHONE: 219-928-1027
 E-MAIL: info@dunelandgroup.com

ALL OWNERS OF RECORD OF THE ABOVE-REFERENCED PROPERTY MUST SIGN THE PETITION FOR PUBLIC HEARING. The owner(s), by signing this Petition for Public Hearing, represent to the City of Valparaiso – Plan Commission, that he/she/it has the necessary legal authority to request action to be taken on the above-referenced property. If the name of the Petitioner is different from the property owner, the Plan Commission shall accept the requests and representations of the Petitioner and the property owner shall be bound by such requests and representations via the Attached Affidavit of Consent of Property Owner.

Nicole Adele Krueger Tom Krueger 9/24/24
Signature of owner/Petitioner Date

Nicole A. Krueger Tom Krueger
Printed name

Subscribed and sworn to before me this 24th day of September, 2024

Sara Camp
Notary Public



My Commission Expires: Feb. 1, 2025

ALL OWNERS OF RECORD OF THE ABOVE-REFERENCED PROPERTY MUST SIGN THE PETITION FOR PUBLIC HEARING. The owner(s), by signing this Petition for Public Hearing, represent to the City of Valparaiso – Plan Commission, that he/she/it has the necessary legal authority to request action to be taken on the above-referenced property. If the name of the Petitioner is different from the property owner, the Plan Commission shall accept the requests and representations of the Petitioner and the property owner shall be bound by such requests and representations via the Attached Affidavit of Consent of Property Owner.

Brooks Land LLC
[Signature]

09-24-24

Signature of owner/Petitioner

Date

Brooks Land LLC B. Williams

Printed name

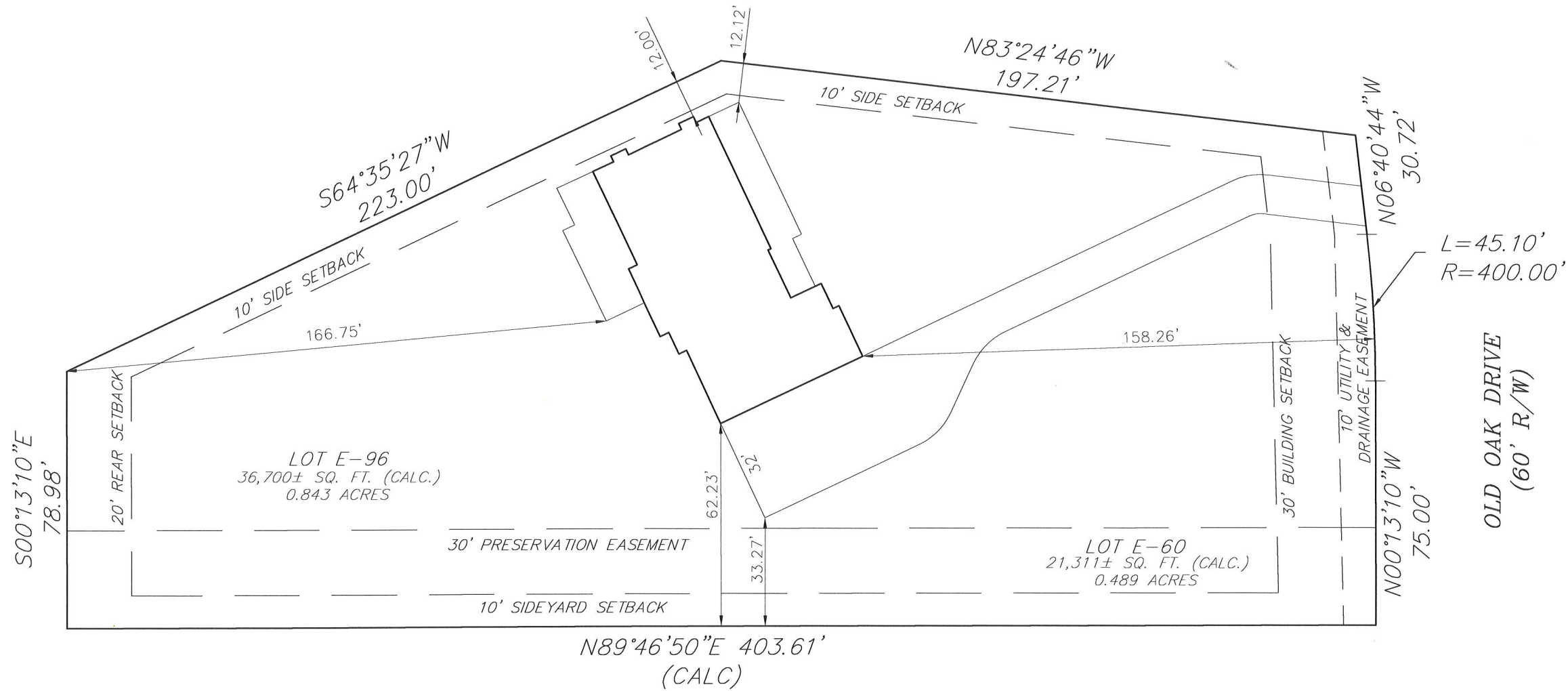
Subscribed and sworn to before me this 24th day of September, 2024

Sara Camp

Notary Public



My Commission Expires: Feb. 1, 2025



DISCLAIMER

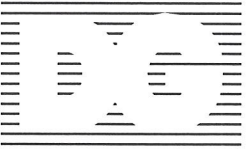
DUNELAND MAKES NO REPRESENTATIONS CONCERNING SOIL CONDITIONS AND DUNELAND IS NOT RESPONSIBLE FOR ANY LIABILITY THAT MAY ARISE OUT OF THE MAKING OR FAILURE TO MAKE SOIL SURVEYS, OR SUB-SURFACE SOIL TEST, OR GENERAL SOIL TESTING.

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.

ADDRESS:
2701 OLD OAK DRIVE, VALPARAISO, IN 46385

PRELIMINARY
DATE SEP 25 2024

PRELIMINARY LAYOUT
THE BROOKS - LOTS 60 & 96

REVISIONS	BY		DUNELAND GROUP ENGINEERING & SURVEYING 1498 POPE COURT CHESTERTON, INDIANA 46304 PHONE: 219-926-1007 E-MAIL: dgi@dunelandgroup.com	DATE
				9/25/2024
				SCALE 1"=40'
				DRAWN TWE / DGI
				PROJECT 3123.060
				SHEET 1